



AGENDA

Regular Meeting

Planning and Zoning Commission

Tuesday, October 4, 2022

6:00 PM, City Hall

4000 Galleria Parkway

Bee Cave, Texas 78738-3104

A quorum of the Bee Cave City Council may be present.

THE CITY OF BEE CAVE COUNCIL MEETINGS ARE AVAILABLE TO ALL PERSONS REGARDLESS OF DISABILITY. IF YOU REQUIRE SPECIAL ASSISTANCE, PLEASE CONTACT KAYLYNN HOLLOWAY AT (512) 767-6641 AT LEAST 48 HOURS IN ADVANCE OF THE MEETING. THANK YOU.

1. Call meeting to order
2. Roll Call
3. Pledge of Allegiance
4. Consider approval of minutes of the regular meeting conducted on September 20, 2022.
5. Discuss and consider action on agenda planning for upcoming Planning & Zoning Commission meetings.
6. Discuss and consider action on Architectural Pre-Approval for the Glenn and Venue buildings of the Backyard project located at 13801 Bee Cave Parkway, Bee Cave, TX 78738
7. Discuss 5-year update of the Our Bee Cave 2037 Comprehensive Plan and review Future Land Use & Annexation and Housing & Neighborhoods elements of the Plan
8. Discuss progress on development of bylaws for the Planning & Zoning Commission.
9. Agenda Planning
10. Adjournment

The Commission may go into closed session at any time when

permitted by Chapters 418 or 551, Texas Government Code, or Section 321.3022 of the Texas Tax Code. Before going into closed session a quorum of the Commission must be present, the meeting must be convened as an open meeting pursuant to proper notice, and the presiding officer must announce that a closed session will be held and must identify the sections of Chapter 551 or 418, Texas Government Code, or Section 321.3022 of the Texas Tax Code authorizing the closed session.

I certify that the above notice of meeting was posted at Bee Cave City Hall, 4000 Galleria Parkway, Bee Cave, Texas, on the 30th day of September 2022 at 5:00 PM.

Reggie Brooks

Deputy City Secretary



***Planning and Zoning Commission Meeting
10/4/2022
Agenda Item Transmittal***

Agenda Item: 3.

Agenda Title: Consider approval of minutes of the regular meeting conducted on September 20, 2022.

Commission Action: Approve or Deny

Department: Planning and Dev. - PZ Agenda

Staff Contact: Reggie Brooks

1. INTRODUCTION/PURPOSE

2. DESCRIPTION/JUSTIFICATION

a) Background

b) Issues and Analysis

3. FINANCIAL/BUDGET

Amount Requested	Fund/Account No.
Cert. Obligation	GO Funds
Other source	Grant title
Addtl tracking info	

4. TIMELINE CONSIDERATIONS

5. RECOMMENDATION

ATTACHMENTS:

Description	Type
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MINUTES OF THE REGULAR MEETING OF THE
PLANNING AND ZONING COMMISSION
CITY OF BEE CAVE
4000 Galleria Parkway
Bee Cave, Texas 78738
September 20, 2022

STATE OF TEXAS §

COUNTY OF TRAVIS §

Present:

Kit Crumbley, Chair
Steven Schmidt, Vice Chair
Lori Wakefield, Commissioner
Rick Scadden, Commissioner
Joe Inge, Commissioner

Absent:

Jerry Dike, Commissioner
Kirk Wright, Commissioner

City Staff:

Megan Will, Director of Planning and Development
Lindsey Oskoui, Assistant City Manager
Kevin Sawtelle, City Engineer
Logan Maurer, Staff Engineer
Amanda Padilla, Senior Planner
Sean Lapano, City Planner
Reggie Brooks, Deputy City Secretary

Call to Order and Announce a Quorum is Present

With a quorum present, the regular meeting of the Bee Cave Planning and Zoning Commission was called to order by Chair Crumbley, in the Council Chambers at 6:00 p.m. on Tuesday, September 20, 2022.

Consider approval of minutes of the regular meeting conducted on August 16, 2022

MOTION: A motion was made by Commissioner Wakefield, seconded by Commissioner Scadden to recommend approval on the minutes of the regular meeting conducted on August 16, 2022.

The vote was taken on the motion with the following result:

Voting Aye:	Chair Crumbley, Vice Chair Schmidt, Commissioners Wakefield, Scadden, Inge
Voting Nay:	None
Abstained:	None
Absent:	Commissioners Dike, Wright

The motion carried.

Public Hearing, discussion, and possible action on Ordinance No. 490 to rezone a one-acre tract located at 14211 W State Highway 71 from Residential Estate (R-1) to Neighborhood Mixed Use (MU-N).

Public Hearing opened at 6:07 pm

Public Hearing closed at 6:09 pm

MOTION: A motion was made by Commissioner Schmidt, seconded by Commissioner Inge to recommend approval on Ordinance No. 490 to rezone a one-acre tract located at 14211 W State Highway 71 from Residential Estate (R-1) to Neighborhood Mixed Use (MU-N).

The vote was taken on the motion with the following result:

Voting Aye:	Chair Crumbley, Vice Chair Schmidt, Commissioners Wakefield, Scadden, Inge
Voting Nay:	None
Abstained:	None
Absent:	Commissioners Dike, Wright

The motion carried.

Discuss 5-year update of the Our Bee Cave 2037 Comprehensive Plan and review Bee Cave Demographics and Development 2016-2022.

MOTION: None

Discuss and consider action on identifying a process for developing bylaws for the Planning & Zoning Commission.

MOTION: A motion was made by Commissioner Wakefield, seconded by Commissioner Inge to recommend the formation of a subcommittee of Chair Crumbley, Vice Chair Schmidt, and Commissioner Scadden to study the development of bylaws for the Bee Cave Planning and Zoning Commission.

The vote was taken on the motion with the following result:

Voting Aye:	Chair Crumbley, Vice Chair Schmidt, Commissioners Wakefield, Scadden, Inge
Voting Nay:	None
Abstained:	None
Absent:	Commissioners Dike, Wright

The motion carried.

Discuss and consider action on agenda planning for upcoming Planning & Zoning Commission meetings.

MOTION: None

The Planning and Zoning Commission adjourned the meeting at 7:36 p.m.

PASSED AND APPROVED THIS _____ DAY OF _____, 2022.

Kit Crumbley, Chair

ATTEST

Reggie Brooks



Planning and Zoning Commission Meeting

10/4/2022

Agenda Item Transmittal

Agenda Item: 4.

Agenda Title: Discuss and consider action on agenda planning for upcoming Planning & Zoning Commission meetings.

Commission Action:

Department: Planning and Dev. - PZ Agenda

Staff Contact: E. Megan Will, Director of Planning & Development

1. INTRODUCTION/PURPOSE

The purpose of this agenda item is for staff to alert the Commissioners of items tracking for upcoming meeting agendas.

2. DESCRIPTION/JUSTIFICATION

a) Background

b) Issues and Analysis

3. FINANCIAL/BUDGET

Amount Requested

Cert. Obligation

Other source

Addtl tracking info

Fund/Account No.

GO Funds

Grant title

4. TIMELINE CONSIDERATIONS

5. RECOMMENDATION

Include this item on all future meeting agendas as "Agenda Management".



Planning and Zoning Commission Meeting

10/4/2022

Agenda Item Transmittal

Agenda Item: 5.

Agenda Title: Discuss and consider action on Architectural Pre-Approval for the Glenn and Venue buildings of the Backyard project located at 13801 Bee Cave Parkway, Bee Cave, TX 78738

Commission Action:

Department: Planning and Development

Staff Contact: E. Megan Will, Director of Planning & Development

1. INTRODUCTION/PURPOSE

Discuss and consider approval of architectural renderings for the Glenn and Venue buildings within the Backyard project.

2. DESCRIPTION/JUSTIFICATION

a) Background

Per the terms of the Backyard Planned Development District (PDD) Ordinance approved by City Council in May 2020 ([Ord. 428](#)) the developer *may* submit an architectural package including scaled renderings of all four sides of each building proposed for the area and a building materials sample board for consideration and approval by City Council *prior to* Site Plan application for any areas within the Project. Approval of the pre-design application does not affect the Council's authority to approve or deny any subsequent Site Plan application for a reason *other than architectural design*.

The renderings submitted by the applicant include photographic representations of the proposed building materials; the applicant will also provide physical samples for inspection at the meeting.

b) Issues and Analysis

Staff reviewed the architectural pre-approval application/package submitted for the Glenn (Food/Beverage/Retail area) and Venue buildings of the Backyard Project for compliance with Ord. 428 and applicable sections of the City's Exterior Design and Construction Standards, [Code Sec. 32.05.005](#), please see the attached review memo for details.

It should be noted that the applicant has elected to permanently remove two buildings from the Glenn portion of the Project. These buildings are G4 and G11. Additionally, Building G6 has been deferred without an anticipated timeline for construction. The architectural elevations for this building will be submitted at a latter

date. Please see the attached page from the Concept Plan approved with Ord. 428 for the locations of these buildings.

There are two more design deviation of note.

1. Glenn building G3 proposed in the Concept Plan to be a two-story food and beverage building will be built with a single floor, the second floor may be added in a future phase.
2. Due to the removal of Glenn building G6 from the current scope of the project, elevation C of the Glenn building G8, the small (<500 SQ FT) stage, is visible from a public roadway (Bee Cave Parkway across Bee Cave Central Park). As such, the elevation is technically required to have five changes in variation. However, due to the minimal nature and function of the structure, a small stage with shed roof, staff recommends approval as presented.

3. FINANCIAL/BUDGET

Amount Requested	Fund/Account No.
Cert. Obligation	GO Funds
Other source	Grant title
Addtl tracking info	

4. TIMELINE CONSIDERATIONS

Architectural approval may be granted prior to or with the associated Site Plan. The Backyard Glenn and Venue Site Plan is under review and anticipated to be on agendas in the coming weeks.

5. RECOMMENDATION

Staff recommends approval of the architectural plans for Glenn and Venue buildings of the Backyard project.

ATTACHMENTS:

Description	Type
❑ Backyard Glenn and Venue Buildings Architectural Pre-approval Review Memo	Backup Material
❑ Backyard Glenn Architectural Pre-approval Submittal Package	Backup Material
❑ Backyard Venue Architectural Pre-approval Submittal Package	Backup Material
❑ Ord. 428 Ex. B Concept Plan	Backup Material

Memo



Date: **September 16, 2022**

To: **Amy Bramwell, Studio Steinbomer**
Christi VanRite, Backyard

CC: Clint Garza, City Manager
Lindsey Oskoui, Assistant City Manager
Kevin Sawtelle, City Engineer

From: E. Megan Will, Director of Planning & Development

Subject: **Backyard – Glenn and Venue Architectural Pre-Approval** - *COBC Staff comments round 3 (final)*

The purpose of this memorandum is to provide staff comments on the architectural elevations for the Glenn and Venue buildings of the Backyard project, submitted for architectural pre-approval pursuant to the Development Standards of Ordinance 428. *This review addresses the 9/16/22 resubmittal.*

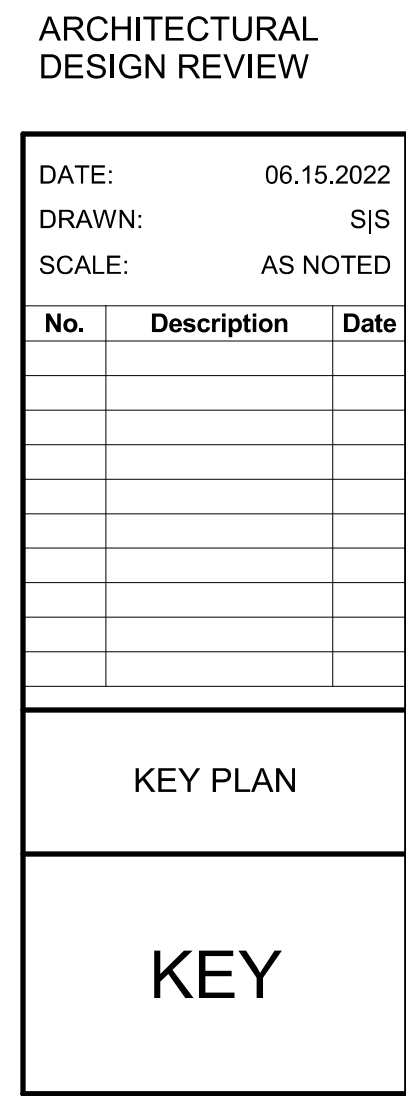
The attached tables include staff responses to the applicant's response comments for each proposed structure as reviewed against the applicable design requirements of Ordinance 428. **All staff comments have been addressed. Thank you.**

Building #		Use(s)		Gross Area (SF) Allowed		Gross Area (SF) Actual		Bldg. Footprint (SF) Allowed		Bldg. Footprint (SF) Actual		# Levels		Building Height (from low grade) allowed		Building Height (from low grade) actual		Height - includes parapets, mechanical equipment, elevator housing or other structural component		Buildings are 1 to 2 stories		Scale and architectural elements of the buildings are to be sympathetic to historically inspired Hill Country vernacular architecture...		Max. Building GFA of 12,500 SF		Buildings terrace into natural grade to provide an integrated, accessible pedestrian connectivity		Buildings incorporate a variety of outdoor spaces to include porches, courtyards, plazas, decks, and park-like areas		Buildings treat Willie Way & Amp Rd. as public roads		Buildings meet Variation standards 33% & 5 changes for front/facades facing public roadway - 25% & 3 changes for others		Building meets Horizontal Articulation standards Max 50ft. Wall plane module / vertical element		Building meets Vertical Articulation standards Varying roof lines; max 60' roof run w/o height transition		Materials - limestone, rustic wood, stucco, brick, concrete, or other stone		Materials - Max. 50% glazing per wall, max 30' horizontal with min. 3" break		Materials - Max. 10% metal		Notes / Other comments COBC 1.22		DESIGN TEAM 6.22 RESPONSE		COBC 8/22 Response		DESIGN TEAM 9.9. RESPONSE		COBC 9/22 Response	
		PDD Ord. 428 Development Standard Reference																		Ex. C. - IV.B.		Ex. C - III.B.2		Ex. C - III.B.3		Ex. C - III.B.3		Ex. C - III.B.4		Ex. C - III.B.5		Ex. C. - IV.A.1		Ex. C. - IV.A.3		Ex. C. - IV.A.3		Ex. C. - IV.A.3		Ex. C. - IV.A.3.b.		Ex. C. - IV.A.3.a.		Ex. C. - IV.A.3.c.									
G9	Brew House	11,300	10,260	5,200	5,130	2	42'-0"	40'-3"	Yes	2	Yes		Yes			Large beer garden on S. side of Bldg.	Public roadway facades: C - Willie Way	D - Yes C - Yes B - Yes A - Yes	D - Yes C - Yes B - Yes A - Yes	D - Yes C - Yes B - Yes A - Yes	D - Yes C - Yes B - Yes A - Yes	D - Yes C - Yes B - Yes A - Yes	N/A metal not used as façade material			"ENTRY AREA WILL NOT PROVIDE SEATING, BUT THERE IS A LARGE BEER GARDEN/SEATING AREA ON SOUTH SIDE OF BUILDING ~COMPLIANCE ELEMENTS HAVE BEEN CLARIFIED ON PLANS.	Comments cleared/no further comments.																										
G10	Wine Bar/Retail/Events	10,500	9,478	5,600	4,739	2	34'-0"	34'-0"	Yes	2	Yes		Yes			Porches/outdoor gathering area (2nd floor deck)	Public roadway facades: No, shielded by bldg. G9	D - Yes C - Yes B (front) - Yes A - Yes	D - Yes C - Yes B - Yes A - Yes	D - Yes C - Yes B - Yes A - Yes	D - Yes C - Yes B - Yes A - Yes	D - Yes C - Yes B - Yes A - Yes	N/A metal not used as façade material			No additional comments.																											
G11	Food and Beverage	5,500		5,500		1	18'-0"		THIS BUILDING HAS BEEN PERMANENTLY REMOVED FROM SCOPE															BEEN PERMANENTLY REMOVED FROM SCOPE	Comments cleared/no further comments.																												

General Notes:
[8.30.22 Update - No further comments]

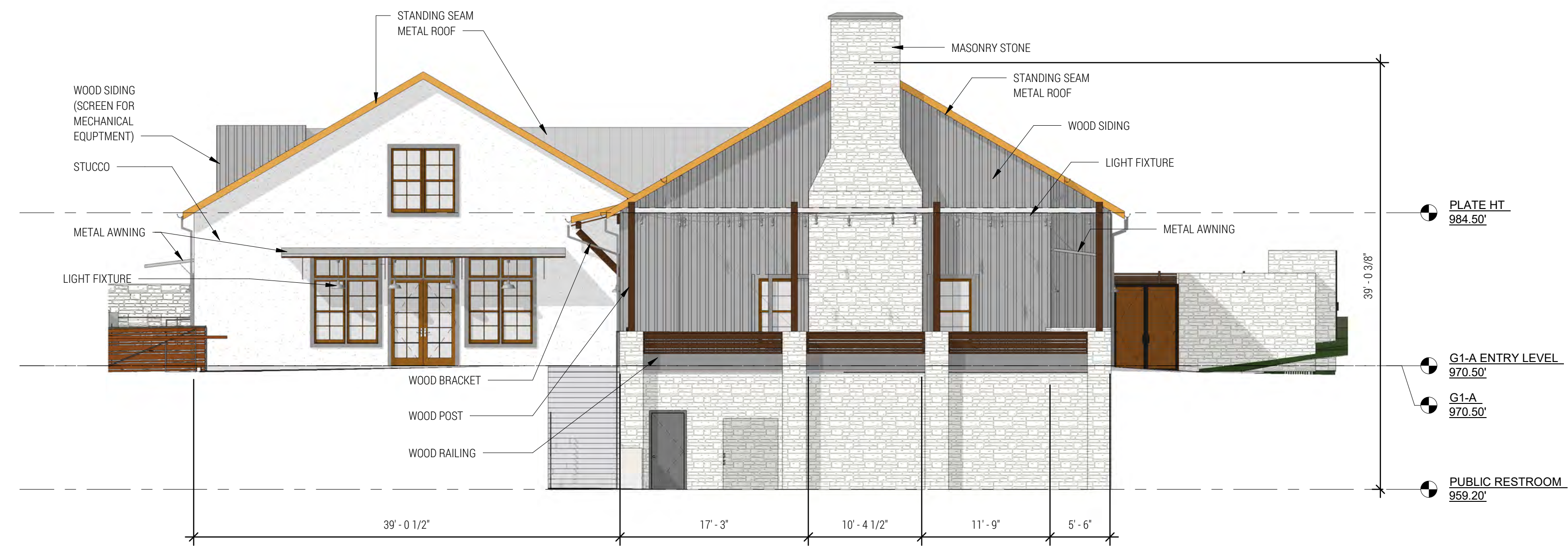
		Gross Area (SF) Allowed	Gross Area (SF) Actual	Bldg. Footprint (SF) Allowed	Bldg. Footprint (SF) Actual	# Levels	Building Height (from low grade) allowed	Building Height (from low grade) actual	Venue 17' lower than finished grade of Willie Way	Retaining wall at rear of stage min. 4' above finished grade of Willie Way	Retaining wall at rear of stage landscaped on Willie Way side and finished with stone	Venue architecture complies with PDD Ex. D	If Venue architecture deviates from PDD Ex. D it complies with City Standards**	Notes / Other Comments	DESIGN TEAM COMMENTS	Notes / Other Comments
									Ex. C - III.A.3	Ex. C - III.A.3	Ex. C - III.A.3	Ex. C - III.A.5	Ex. C - III.A.6	COBC 8.30.22	DATE	COBC 9.22.22
Venue	Live Oak Amphitheater	96,000*	85,475	54,000	49,813	2	55'-0"	50'-0"	Generally. The Venue FFE is confirmed at 960'. The grade of Willie Way behind the venue (West/Elevat ion No. 2) is varies from 977' to 974'. Venue is 14' to 17' below Willie Way.	Yes. The grade of Willie Way behind the Venue (West Elevation No. 2) varies form 977' to 974'. The top of the retaining wall generally follows the grade of Willie Way and there is an 8' extension of the wall for its entire length. The extension made of 2'x4' limestone blocks was approved with the Subdivision Construction Plans. The top of the retaining wall and top of the 8' extension are depicted in the West Elevation.	Yes. Wall and landscaping are detailed in submitted Subdivision Construction Plans.	Yes. TPO membrane roofing is not visible from a public way.	N/A. Architecture is consistent with Ex. D.	1. Materials Legend: there are a number of materials crossed off, please clarify. 2. Materials Call Out Updates: North Elevation 3A - The callout for 19 seems incorrect, please review. There is a callout for 9, please update to 9A or 9B as applicable. West Elevation 2A - There is a callout for 15 but that material painted steel panels/trellis) has been crossed out on the legend. Please update. South Elevation 1A - The callouts for 9A appear inconsistent. Please review and update.	KEYNOTE LEGEND HAS BEEN REVISED AND ELEVATIONS UPDATED	Noted. Thank you.

*does not include uncovered pit area or area of risers not over
**City Council may approve deviations through Architectural Pre-Approval Process



studio **steinbomer**
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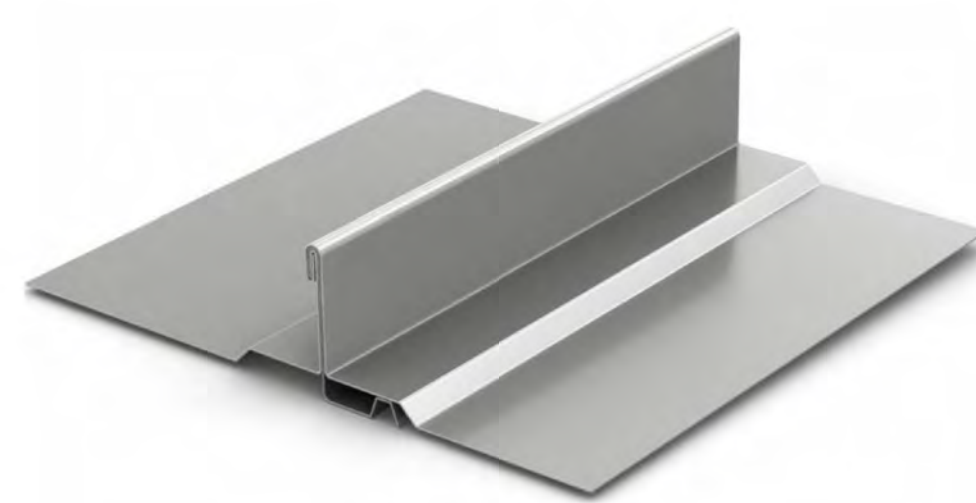
1400 S. CONGRESS AVE., SUITE 8202
AUSTIN, TX 78704
T 512.470.0022
F 512.474.6868
www.steinbomer.com



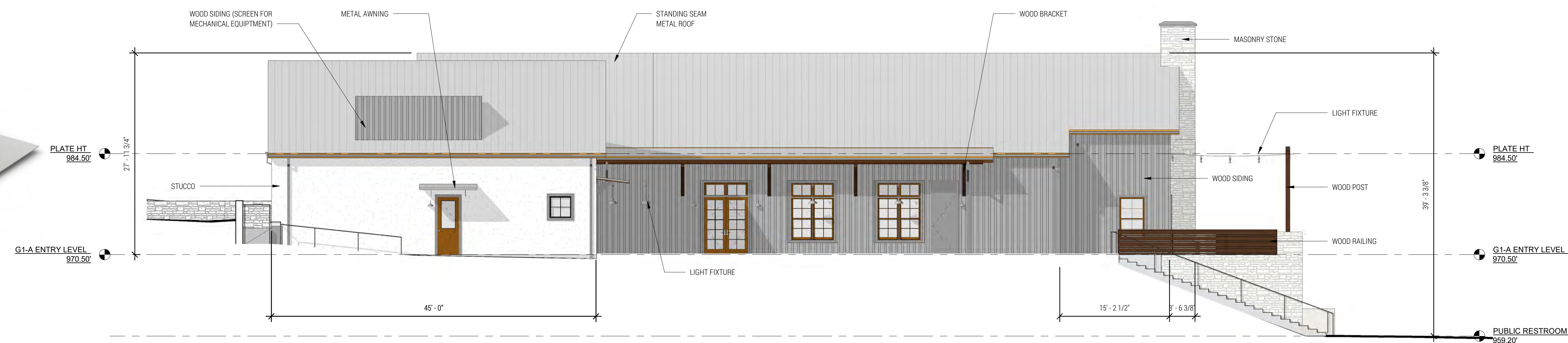
3 G1 - ELEVATION C
SCALE: 1/8" = 1'-0"



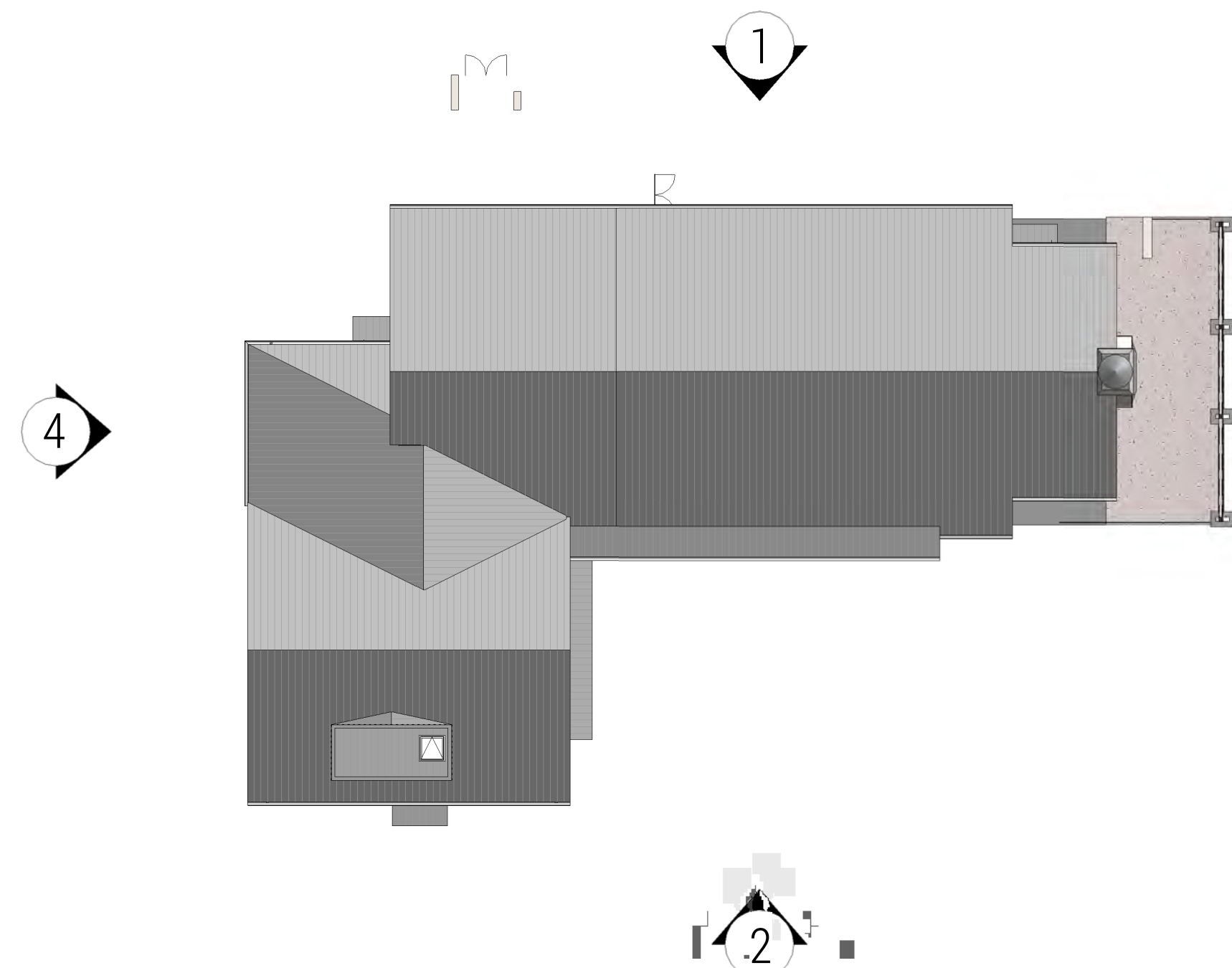
AUSTIN COUNTY BLEND STONE



STANDING SEAM
METAL ROOF - LEAD COTE FINISH



2 G1 - ELEVATION B
SCALE: 1/8" = 1'-0"



1 G1 - ELEVATION A
SCALE: 1/8" = 1'-0"

ELEVATION	AREA	GLAZING AREA	% GLAZING
ELEVATION A	1,824 SF	132 SF	7.2%
ELEVATION B	1,660 SF	146 SF	8.8%
ELEVATION C	1,703 SF	178 SF	10.2%
ELEVATION D	1,544 SF	0 SF	0

VARIATION - 5 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. WOOD SIDING 2. STUCCO 3. AWNING 4. WOOD SCREEN WALL 5. STONE LANDSCAPE WALL	<ul style="list-style-type: none"> • MULTIPLE MODULES <50' 0" • OFFSETS > 4' 0" • MULTIPLE MATERIAL CHANGES 	<ul style="list-style-type: none"> • PITCHED ROOF

ARTICULATION - 3 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. WOOD SIDING 2. STUCCO 3. METAL RAILING 4. AWNING 5. MASONRY WALL	<ul style="list-style-type: none"> • MULTIPLE MODULES <50'-0" • OFFSETS >4'-0" • MULTIPLE MATERIAL CHANGES 	<ul style="list-style-type: none"> • PITCHED ROOF

VARIATION - 5 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. WOOD SIDING 2. STUCCO 3. WOOD RAILING 4. AWNING 5. STONE LANDSCAPE WALL	<ul style="list-style-type: none"> • MULTIPLE MODULES <50'-0" • OFFSETS >4'-0" • MULTIPLE MATERIAL CHANGES 	<ul style="list-style-type: none"> • PITCHED ROOF

VARIATION - 5 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. WOOD SIDING 2. STUCCO 3. WOOD RAILING 4. AWNING 5. STONE LANDSCAPE WALL	<ul style="list-style-type: none"> • MULTIPLE MODULES <50'-0" • OFFSETS > 4'-0" • MULTIPLE MATERIAL CHANGES 	<ul style="list-style-type: none"> • PITCHED ROOF

[illegible]

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4034 MEDICAL PARKWAY
 AUSTIN, TX 78756

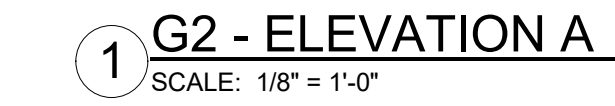
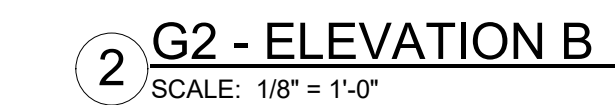
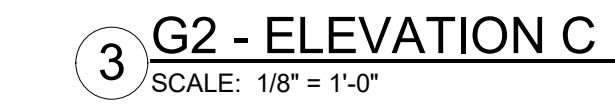
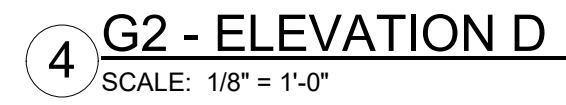
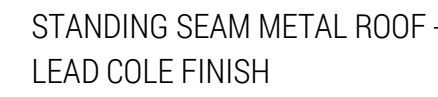
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 F: 512.477.4068

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A NEW BUILDING FOR

THE GLENN AT THE BACKYARD

THE BACKYARD, 13801 BEE CAVE PARKWAY BEE CAVE, TX 78738



ELEVATION	AREA	GLAZING AREA	% GLAZING
ELEVATION A	908 SF	0 SF	0
ELEVATION B	567 SF	78 SF	14%
ELEVATION C	918 SF	205 SF	22%
ELEVATION D	529 SF	0 SF	0

variation - 3 req.	articulation - horizontal	articulation - vertical
1. BRICK 2. WOOD COLUMNS 3. AWNING 4. LIGHT FIXTURES	<ul style="list-style-type: none"> • MULTIPLE MODULES <50'-0" • OFFSETS <4'-0" • MULTIPLE MATERIAL CHANGES • AESTHETIC DETAIL (SHADOW AND VISUAL DEPTH) 	<ul style="list-style-type: none"> • MULTIPLE ROOF OFFSETS • AESTHETIC DETAIL (SHADOW AND VISUAL DEPTH)

variation - 5 req.	articulation - horizontal	articulation - vertical
1. BRICK 2. WOOD COLUMNS 3. WOOD RAILING 4. AWNING 5. PORCH 6. LIGHT FIXTURES	<ul style="list-style-type: none"> • MULTIPLE MODULES - <50'-0" • OFFSETS - 4'-0" • MULTIPLE MATERIAL CHANGES • MULTIPLE WALL SETBACKS • AESTHETIC SHADOW AND VISUAL DEPTH 	<ul style="list-style-type: none"> • MULTIPLE ROOF OFFSETS • AESTHETIC SHADOW AND VISUAL DEPTH

variation - 3 req.	articulation - horizontal	articulation - vertical
1. BRICK 2. WOOD COLUMNS 3. WOOD RAILING 4. PORCH 5. LIGHT FIXTURES 6. METAL LANDSCAPE WALL	<ul style="list-style-type: none"> • MULTIPLE MODULES <5' 0" • OFFSETS > 4' 0" • MULTIPLE MATERIAL CHANGES • AESTHETIC DETAIL (SHADOW AND VISUAL DEPTH) 	<ul style="list-style-type: none"> • MULTIPLE ROOF OFFSETS • AESTHETIC DETAIL (SHADOW AND VISUAL DEPTH)

variation - 3 req.	articulation - horizontal	articulation - vertical
1. brick 2. wood columns 3. wood railing 4. awning 5. light fixtures 6. stone landscape wall	<ul style="list-style-type: none"> multiple modules <50'0" offsets > 4' 0" multiple material changes aesthetic detail (shadow and visual depth) 	<ul style="list-style-type: none"> multiple roof offsets aesthetic detail (shadow and visual depth)

TE: 06.15.20
AWN: S

[illegible]

EXTERIOR ELEVATIONS

2

PRELIMINARY

THIS DOCUMENT IS RELEASED
FOR THE PURPOSE OF INTERIM
REVIEW. IT IS NOT TO BE USED
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PERMITTING, OR CONSTRUCTION.
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ARCHITECTURE & INTERIORS

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THE GLENN AT THE BACKYARD

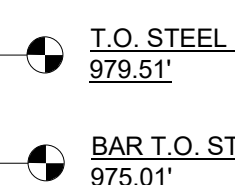


BRICK VENEER 2

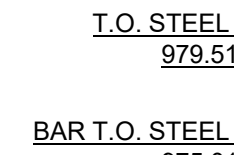
CAST STONE

A close-up photograph of a brick wall. The upper portion features a pattern of reddish-brown bricks with some decorative elements, including a diamond-shaped motif. Below this is a horizontal band of lighter-colored, possibly stone or concrete, material. The bottom portion of the image shows more bricks, some of which are lighter in color and have decorative patterns.

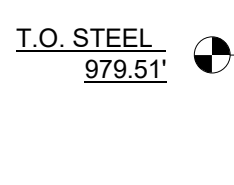
CUT STONE VENEER



4 G3 - ELEVATION D
SCALE: 1/8" = 1'-0"



2 **G3 - ELEVATION B**
SCALE: 1/8" = 1'-0"



1 **G3 - ELEVATION A**
SCALE: 1/8" = 1'-0"

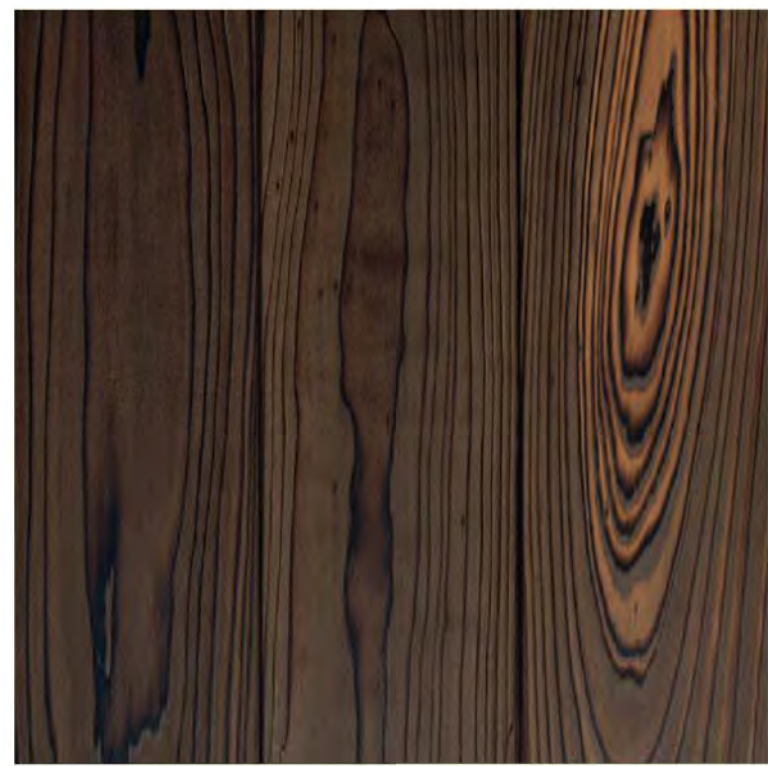
ELEVATION	AREA	GLAZING AREA	% GLAZING
ELEVATION A	2,543 SF	338 SF	13.3%
ELEVATION B	2,208 SF	434 SF	19.7%
ELEVATION C	2,492SF	29 SF	1.1%
ELEVATION D	2,063 SF	352 SF	17.0%

variation - 5 req.	articulation - horizontal	articulation - vertical
1. brick veneer 1	• multiple modules <50"0"	• entry emphasis & articulation
2. brick veneer 2	• offsets <4"0"	• varying roof lines
3. wood tank on wood stand	• multiple material changes	• aesthetic detail (shadow and visual depth)
4. cast stone	• brick detailing	
5. light fixtures		
6. metal gate		
7. cast stone veneer		

variation - 5 req.	articulation - horizontal	articulation - vertical
1. BRICK VENEER 1 2. BRICK VENEER 2 3. CAST STONE 4. CUT STONE VENEER 5. WOOD FENCE & GATE	<ul style="list-style-type: none"> • MULTIPLE MODULES <50'-0" • OFFSETS 4'-0" • MULTIPLE MATERIAL CHANGES • BRICK DETAILING 	<ul style="list-style-type: none"> • VARYING ROOF LINES • AESTHETIC DETAIL (SHADOW AND VISUAL DEPTH)

<p> VARIATION - 3 REQ. </p>	<p> ARTICULATION - HORIZONTAL </p>	<p> ARTICULATION - VERTICAL </p>
<p> 1. BRICK VENEER 1 2. BRICK VENEER 2 3. CAST STONE 4. METAL RAILING 5. LIGHT FIXTURES 6. CUT STONE VENEER </p>	<ul style="list-style-type: none"> • MULTIPLE MODULES <50'-0" • OFFSETS < 4'-0" • MULTIPLE MATERIAL CHANGES • BRICK DETAILING 	<ul style="list-style-type: none"> • VARYING ROOF LINES • AESTHETIC DETAIL (SHADOW AND VISUAL DEPTH)

variation - 3 req.	articulation - horizontal	articulation - vertical
1. BRICK VENEER 1 2. BRICK VENEER 2 3. CAST STONE 4. WOOD TANKS ON WOOD STANDS 5. LIGHT FIXTURES 6. CUT STONE VENEER	<ul style="list-style-type: none"> • MULTIPLE MODULES <50'-0" • OFFSETS < 4'-0" • MULTIPLE MATERIAL CHANGES • BRICK DETAILING 	<ul style="list-style-type: none"> • VARYING ROOF LINES • AESTHETIC DETAIL (SHADOW AND VISUAL DEPTH)



WOOD SIDING



PAINTED CMU



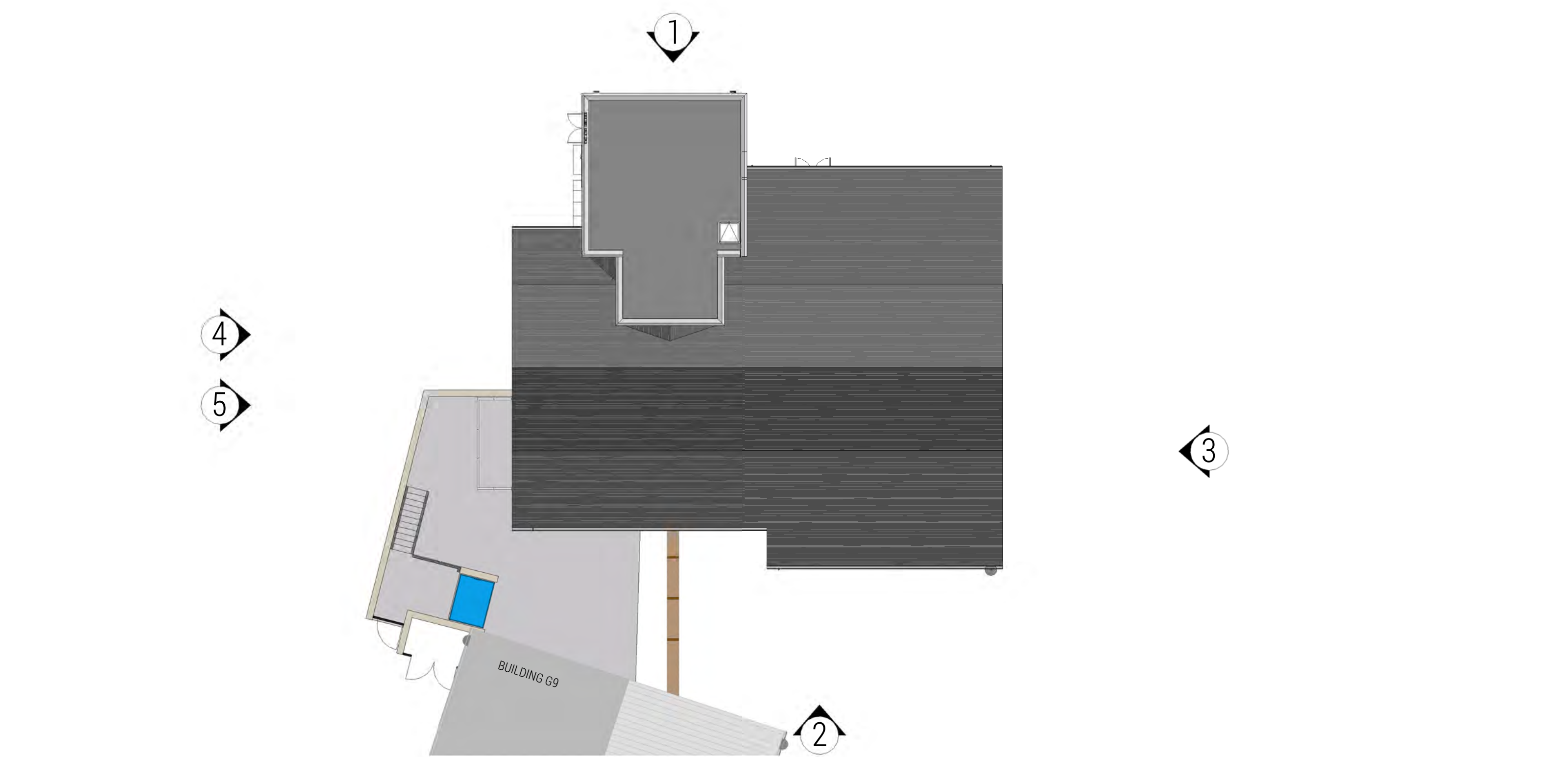
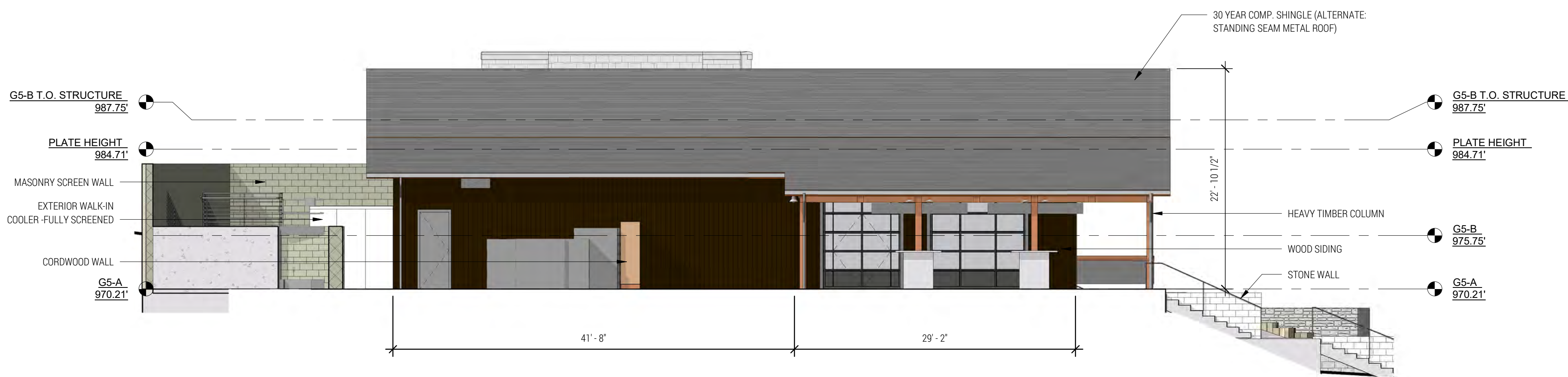
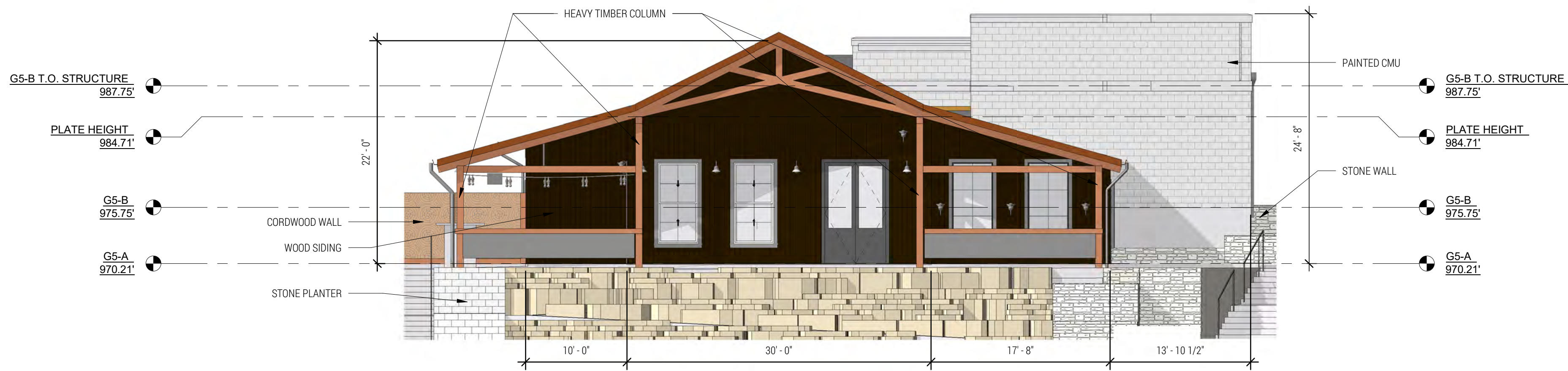
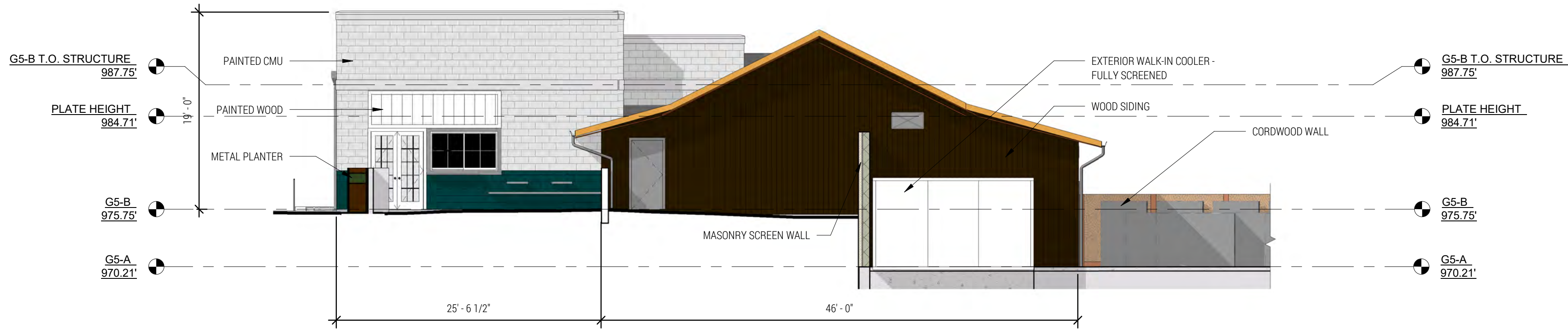
ROOFING BUDGET OPTION: 30 YEAR COMP SHINGLE ONYX BLACK



30 YREAR COMP. SHINGLE



ALTERNATE: STANDING SEAM ROOF - (PREWEATHERED GALVALUME)



GLAZING CALCULATIONS

ELEVATION	AREA	GLAZING AREA	% GLAZING
ELEVATION A	708 SF	84 SF	11.8%
ELEVATION B	921 SF	150 SF	16.2%
ELEVATION C	894 SF	147 SF	16.4%
ELEVATION D	649 SF	46 SF	7%

ELEVATION D

VARIATION - 5 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. WOOD SIDING 2. PAINTED CMU 3. AWNING 4. CORWOOD WALL 5. STONE LANDSCAPE WALL	<ul style="list-style-type: none">MULTIPLE MODULES <50'-0"OFFSETS > 4'-0"MULTIPLE MATERIAL CHANGES	<ul style="list-style-type: none">PITCHED ROOF

** FACES PUBLIC WAY

ELEVATION C

VARIATION - 5 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. WOOD SIDING 2. PAINTED CMU 3. TIMBER TRUSSES 4. WOOD PORCH 5. STONE LANDSCAPE WALL	<ul style="list-style-type: none">MULTIPLE MODULES <50'-0"OFFSETS > 4'-0"MULTIPLE MATERIAL CHANGES	<ul style="list-style-type: none">PITCHED ROOF

** BUILDING FRONT

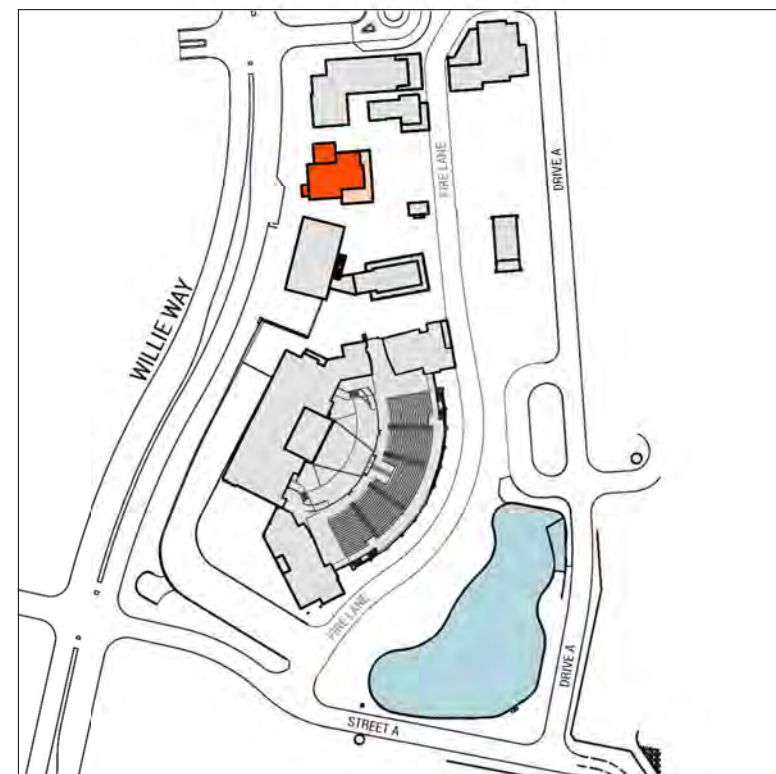
ELEVATION B

VARIATION - 3 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. WOOD SIDING 2. TIMBER TRUSSES 3. WOOD PORCH 4. STONE LANDSCAPE WALL	<ul style="list-style-type: none">MULTIPLE MODULES <50'-0"OFFSETS > 4'-0"MULTIPLE MATERIAL CHANGES	<ul style="list-style-type: none">PITCHED ROOF

ELEVATION A

VARIATION - 3 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. WOOD SIDING 2. PAINTED CMU 3. TIMBER TRUSSES 4. WOOD PORCH 5. STONE LANDSCAPE WALL	<ul style="list-style-type: none">MULTIPLE MODULES <50'-0"OFFSETS > 4'-0"MULTIPLE MATERIAL CHANGES	<ul style="list-style-type: none">PITCHED ROOF

KEY PLAN



ARCHITECTURAL
DESIGN REVIEW

DATE: 09.09.2022

DRAWN: SIS

SCALE: AS NOTED

No.	Description	Date

EXTERIOR
ELEVATIONS

G5



COBBLESTONE MASONRY



STONE WITH STUCCO PLASTER



COURTYARD DOOR- RECLAIMED WOOD



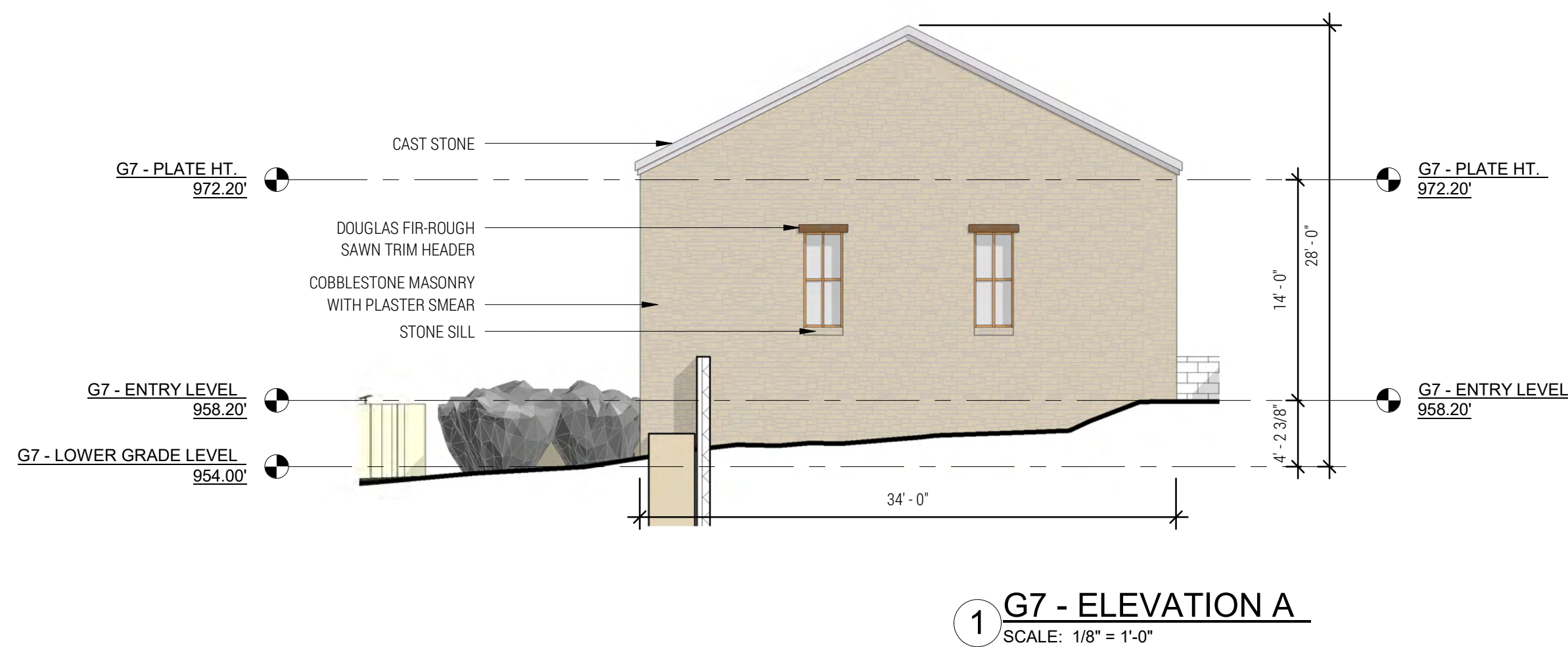
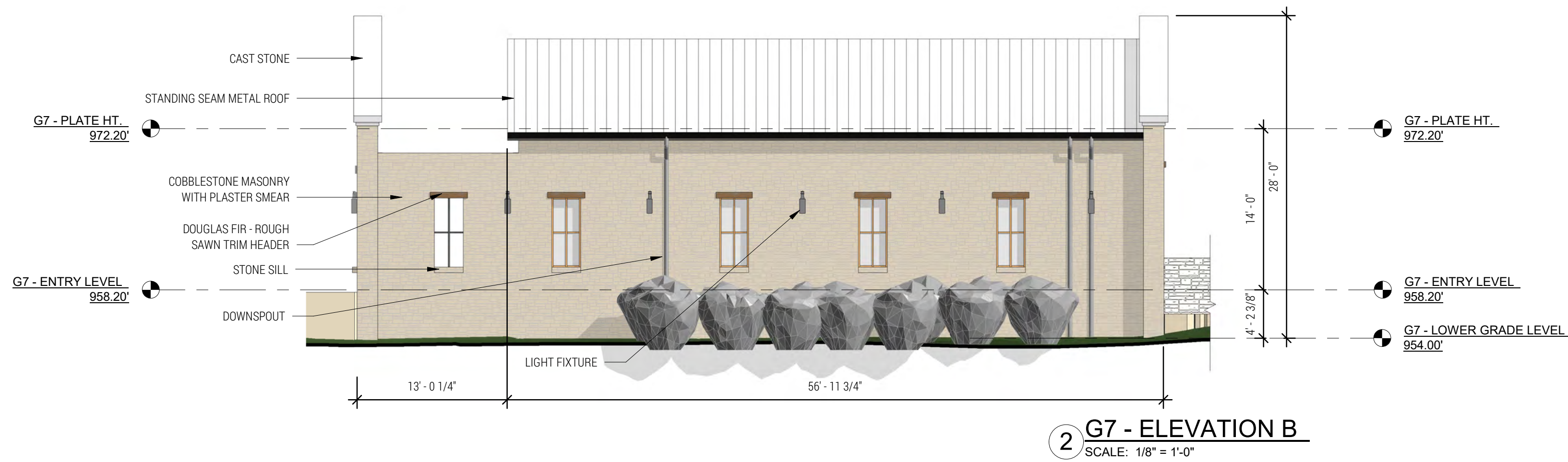
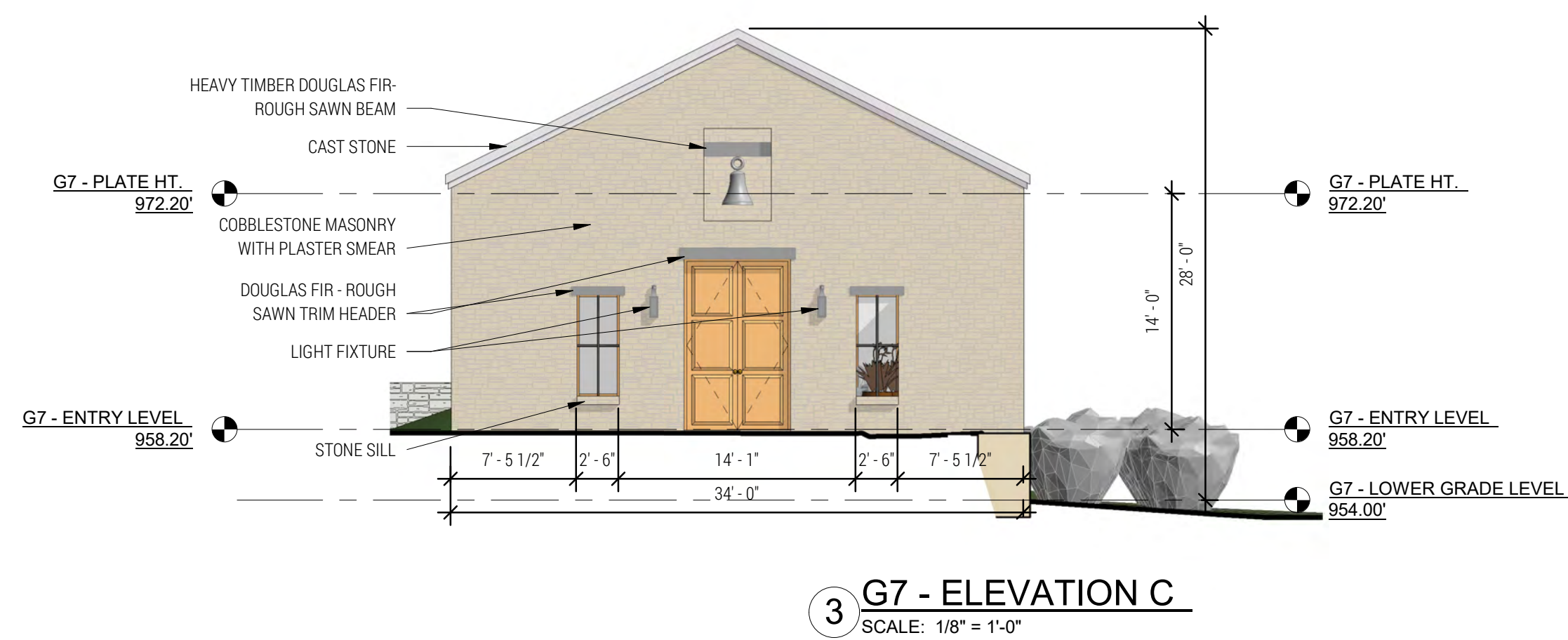
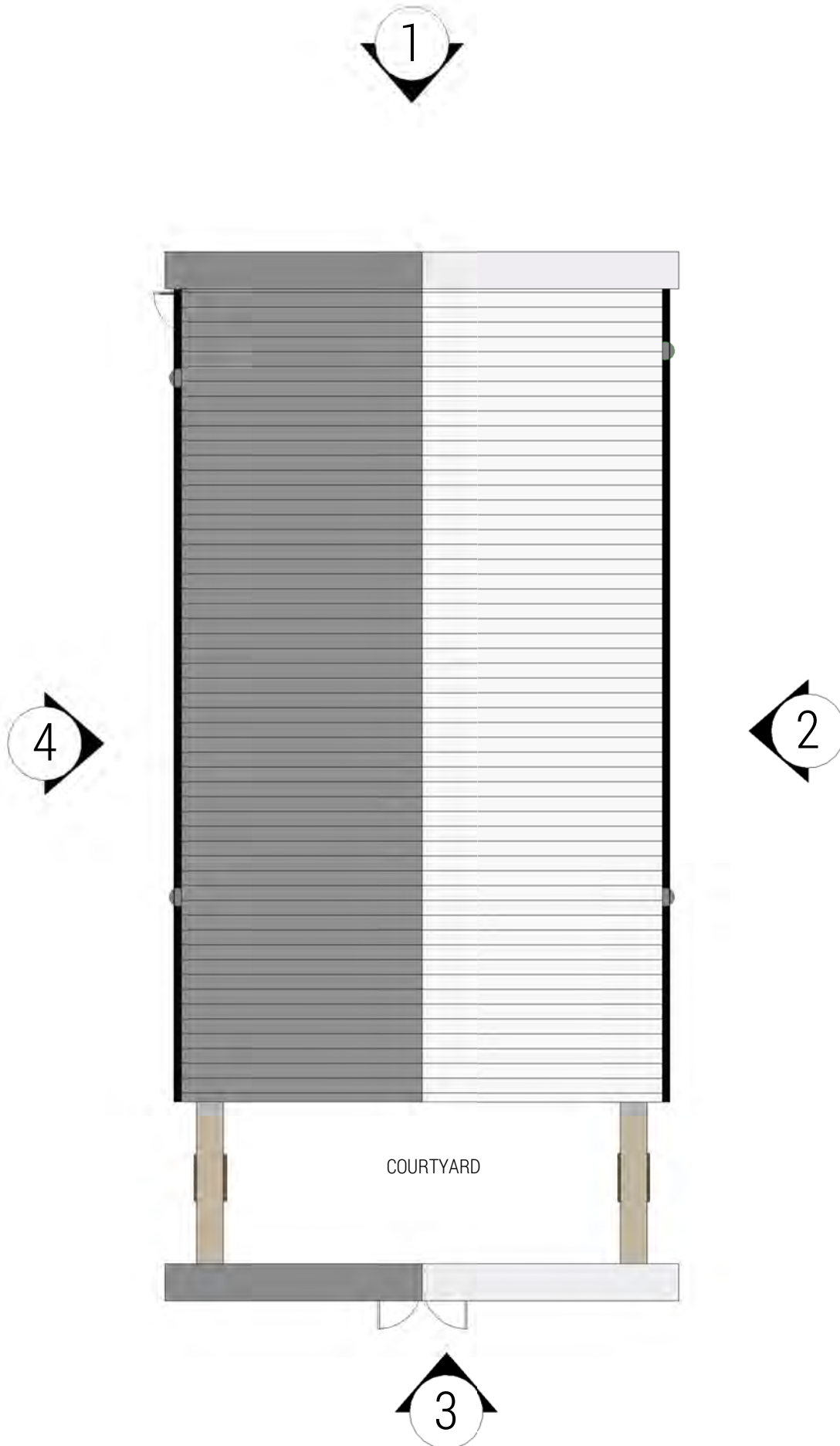
RECLAIMED OPERATIONAL BELL



STANDING SEAM METAL ROOF- ZINC-COTE



WOOD WINDOW HEADER/BREAM



ELEVATION	AREA	GLAZING AREA	% GLAZING
ELEVATION A	776 SF	30 SF	4%
ELEVATION B	760 SF	60 SF	8%
ELEVATION C	633 SF	30 SF	5%
ELEVATION D	760 SF	60 SF	8%

ELEVATION D		
VARIATION - 3 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. MASONRY 2. CAST STONE CAP 3. WOOD LINTEL 4. LIGHT FIXTURES	• MULTIPLE MATERIAL CHANGES	• PITCHED ROOF

ELEVATION C		
VARIATION - 5 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. MASONRY 2. CAST STONE CAP 3. WOOD BARN STYLE 4. LIGHT FIXTURES 5. WOOD LINTEL 6. ANTIQUE BELL	• MULTIPLE MATERIAL CHANGES	• PITCHED ROOF

★★ BUILDING FRONT - SOUTH FACING

ELEVATION B		
VARIATION - 5 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1 MASONRY 2 CAST STONE WALL 3 CAP 4 WOOD LINTEL 5 PLASTERED STONE 6 STONE SILL 7 LIGHT FIXTURES	• MULTIPLE MATERIAL CHANGES	• PITCHED ROOF

** FACES PUBLIC WAY

ELEVATION A		
VARIATION - 3 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. MASONRY 2. CAST STONE 3. WOOD LINTEL	• MULTIPLE MATERIAL CHANGES	• PITCHED ROOF

ARCHITECTURAL
DESIGN REVIEW[illegible]

EXTERIOR
ELEVATION

G7

A NEW BUILDING FOR

THE GLENN AT THE BACKYARD

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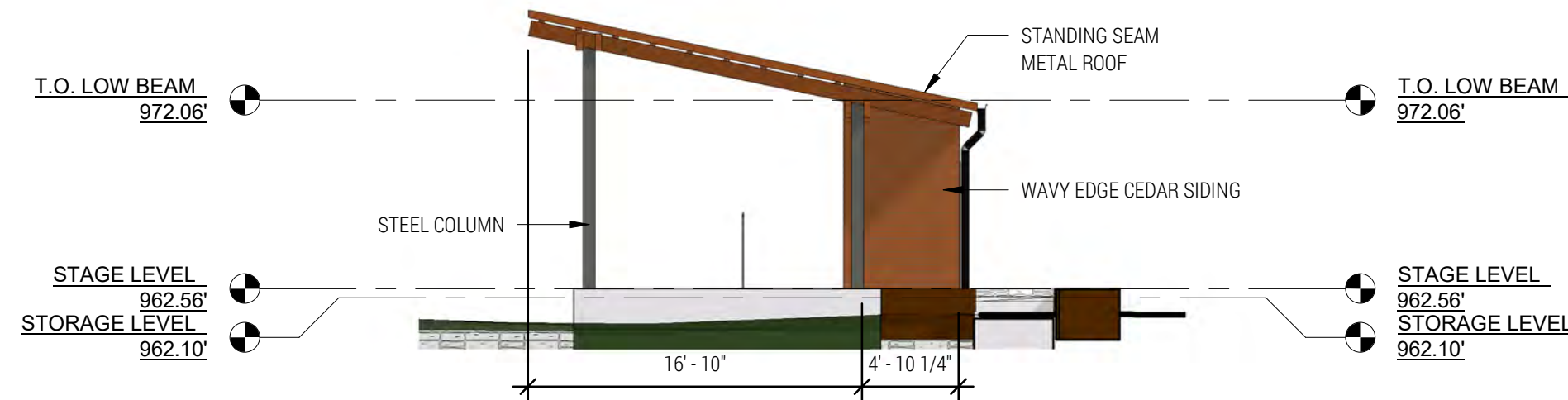
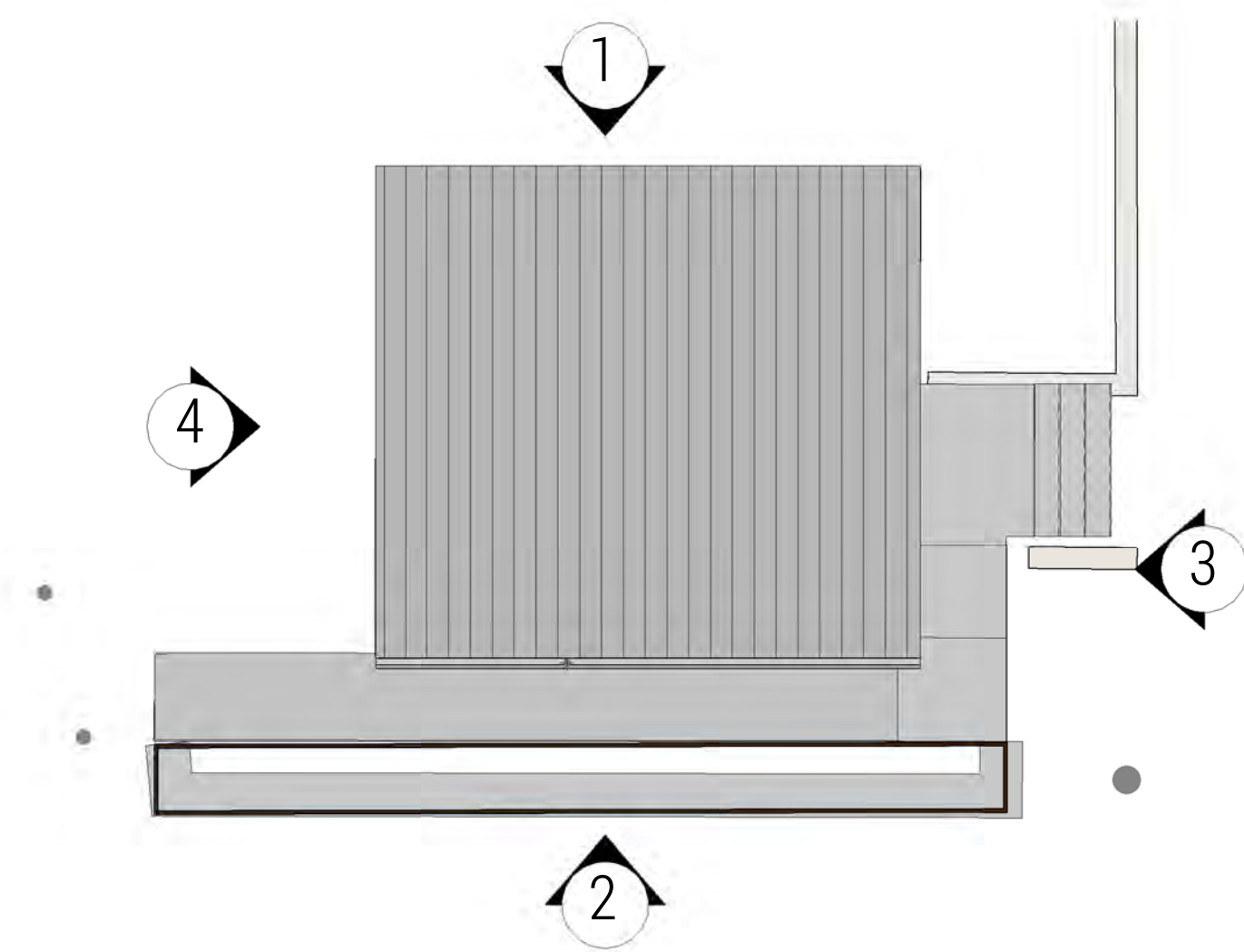
PRELIMINARY



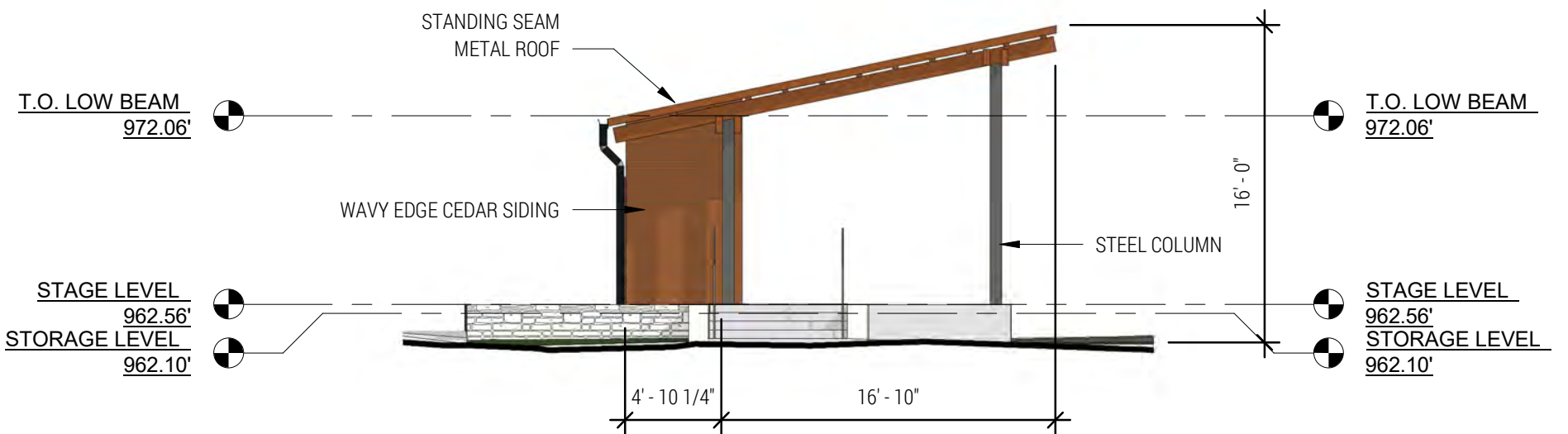
STANDING SEAM
METAL ROOF - LEAD COTE FINISH



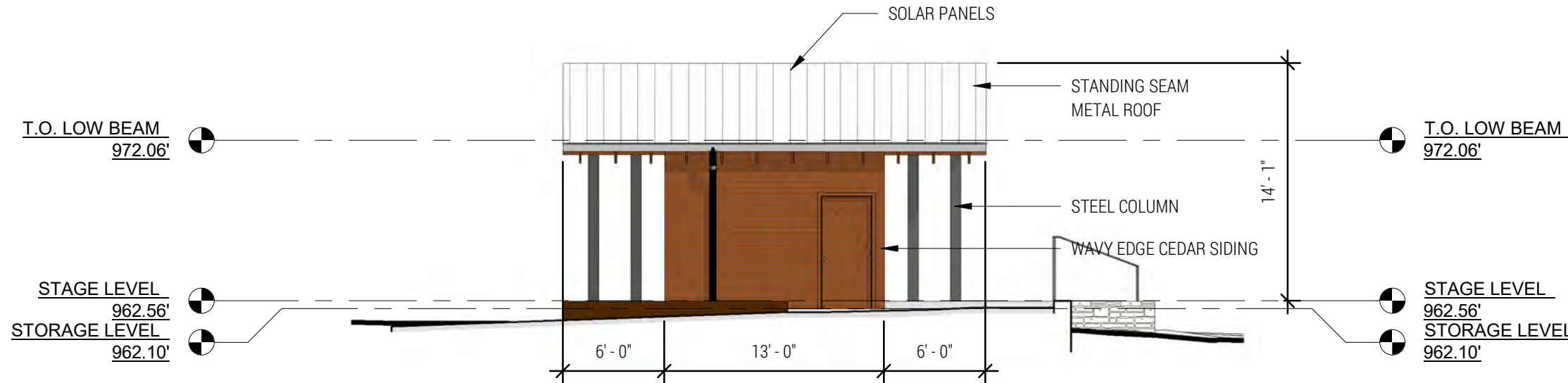
WAVY EDGE CEDAR SIDING



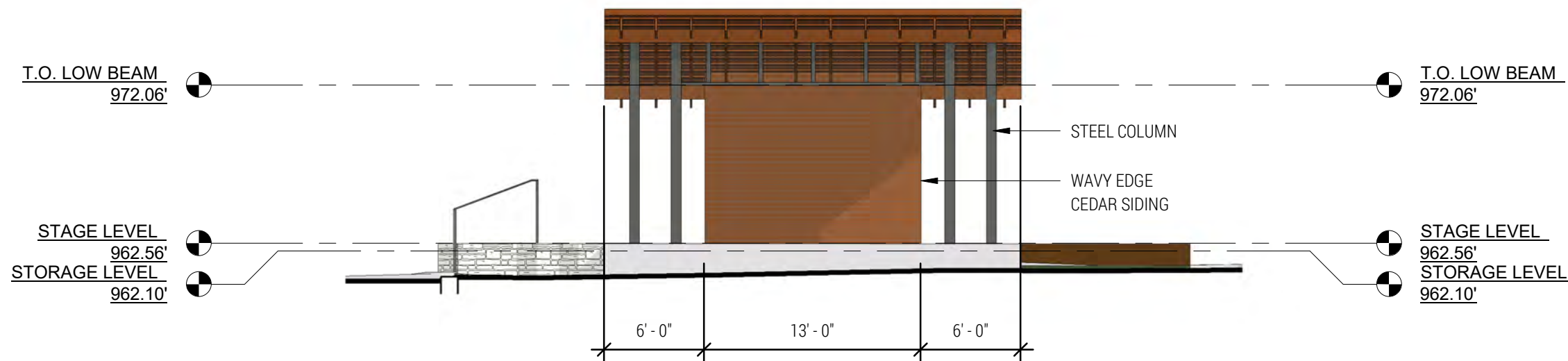
4 **G8 - ELEVATION D**
SCALE: 1/8" = 1'-0"



3 **G8 - ELEVATION C**
SCALE: 1/8" = 1'-0"



2 **G8 - ELEVATION B**
SCALE: 1/8" = 1'-0"



1 **G8 - ELEVATION A**
SCALE: 1/8" = 1'-0"

ELEVATION D

VARIATION - 3 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. WOOD SIDING 2. STEEL COLUMNS 3. CONCRETE STAGE 4. WOOD FRAMING	<ul style="list-style-type: none">MULTIPLE MODULES <5'-0"OFFSETS > 4'-0"MULTIPLE MATERIAL CHANGES	<ul style="list-style-type: none">SLOPED ROOF

ELEVATION C

VARIATION - 3 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. WOOD SIDING 2. STEEL COLUMNS 3. CONCRETE STAGE 4. WOOD FRAMING	<ul style="list-style-type: none">MULTIPLE MODULES <5'-0"OFFSETS > 4'-0"MULTIPLE MATERIAL CHANGES	<ul style="list-style-type: none">SLOPED ROOF

ELEVATION B

VARIATION - 3 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. WOOD SIDING 2. STEEL COLUMNS 3. CONCRETE STAGE 4. SOLAR PANELS	<ul style="list-style-type: none">MULTIPLE MODULES <5'-0"OFFSETS > 4'-0"MULTIPLE MATERIAL CHANGES	<ul style="list-style-type: none">SLOPED ROOF

ELEVATION A

VARIATION - 3 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. WOOD SIDING 2. STEEL COLUMNS 3. CONCRETE STAGE 4. WOOD FRAMING	<ul style="list-style-type: none">MULTIPLE MODULES <5'-0"OFFSETS > 4'-0"MULTIPLE MATERIAL CHANGES	<ul style="list-style-type: none">SLOPED ROOF

KEY PLAN



ARCHITECTURAL
DESIGN REVIEW

DATE: 06.15.2022
DRAWN: SIS
SCALE: AS NOTED

No.	Description	Date

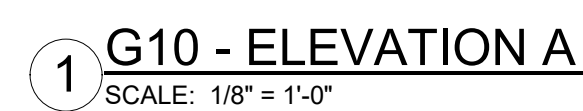
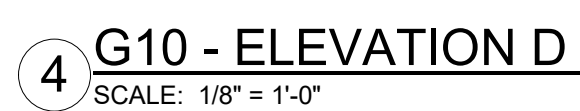
EXTERIOR
ELEVATIONS

G8

PRELIMINARY
THIS DOCUMENT IS RELEASED
FOR REVIEW ONLY. IT IS NOT
FOR REGULATORY APPROVAL.
FOR REGULATORY APPROVAL,
PERMITTING, OR CONSTRUCTION,
CONSULT WITH THE ARCHITECT.
ROBERT A. STEINBOMER
TEXAS REG. #7988

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A NEW BUILDING FOR
THE GLENN AT THE BACKYARD
13801 BEE CAVE PARKWAY BEE CAVE, TX 78738



ELEVATION	AREA	GLAZING AREA	% GLAZING
ELEVATION A	1,914 SF	250 SF	13%
ELEVATION B	876 SF	88 SF	15%
ELEVATION C	1,914 SF	250 SF	13%
ELEVATION D	831 SF	26 SF	3%

variation - 3 req.	articulation - horizontal	articulation - vertical
1. BRICK 2. METAL COLUMNS 3. METAL RAILING 4. WOOD PORCH 5. LIGHT FIXTURES	<ul style="list-style-type: none"> • MULTIPLE MODULES <50'-0" <4'-0" • MULTIPLE MATERIAL CHANGES • MULTIPLE WALL SETBACKS • AESTHETIC SHADOW AND VISUAL DEPTH 	<ul style="list-style-type: none"> • MULTIPLE ROOF OFFSETS • AESTHETIC SHADOW AND VISUAL DEPTH

variation - 3 req.	articulation - horizontal	articulation - vertical
1. BRICK 2. METAL COLUMNS 3. METAL RAILING 4. WOOD PORCH 5. LIGHT FIXTURES	<ul style="list-style-type: none"> • MULTIPLE MODULES <50'-0" • MULTIPLE < 4'-0" • MULTIPLE MATERIAL CHANGES • MULTIPLE WALL SETBACKS • AESTHETIC SHADOW AND VISUAL DEPTH 	<ul style="list-style-type: none"> • MULTIPLE ROOF OFFSETS • AESTHETIC SHADOW AND VISUAL DEPTH

VARIATION - 5 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. BRICK 2. METAL COLUMNS 3. METAL RAILING 4. WOOD PORCH 5. LIGHT FIXTURES	<ul style="list-style-type: none"> • MULTIPLE MODULES <50"0" • OFFSETS < 40" • MULTIPLE MATERIAL CHANGES • MULTIPLE WALL SETBACKS • AESTHETIC SHADOW AND VISUAL DEPTH 	<ul style="list-style-type: none"> • MULTIPLE ROOF OFFSETS • AESTHETIC SHADOW AND VISUAL DEPTH

VARIATION - 3 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. BRICK 2. METAL COLUMNS 3. METAL RAILING 4. WOOD PORCH 5. LIGHT FIXTURES	<ul style="list-style-type: none"> • MULTIPLE MODULES -50'-0" • OFFSETS - 4'-0" • MULTIPLE MATERIAL CHANGES • MULTIPLE WALL SETBACKS • AESTHETIC SHADOW AND VISUAL DEPTH 	<ul style="list-style-type: none"> • MULTIPLE ROOF OFFSETS • AESTHETIC SHADOW AND VISUAL DEPTH

[illegible]ARCHITECTURAL
DESIGN REVIEW

A NEW BUILDING FOR
THE GLENN AT THE BACKYARD
THE BACKYARD, 13801 BEE CAVE PARKWAY BEE CAVE, TX 78738

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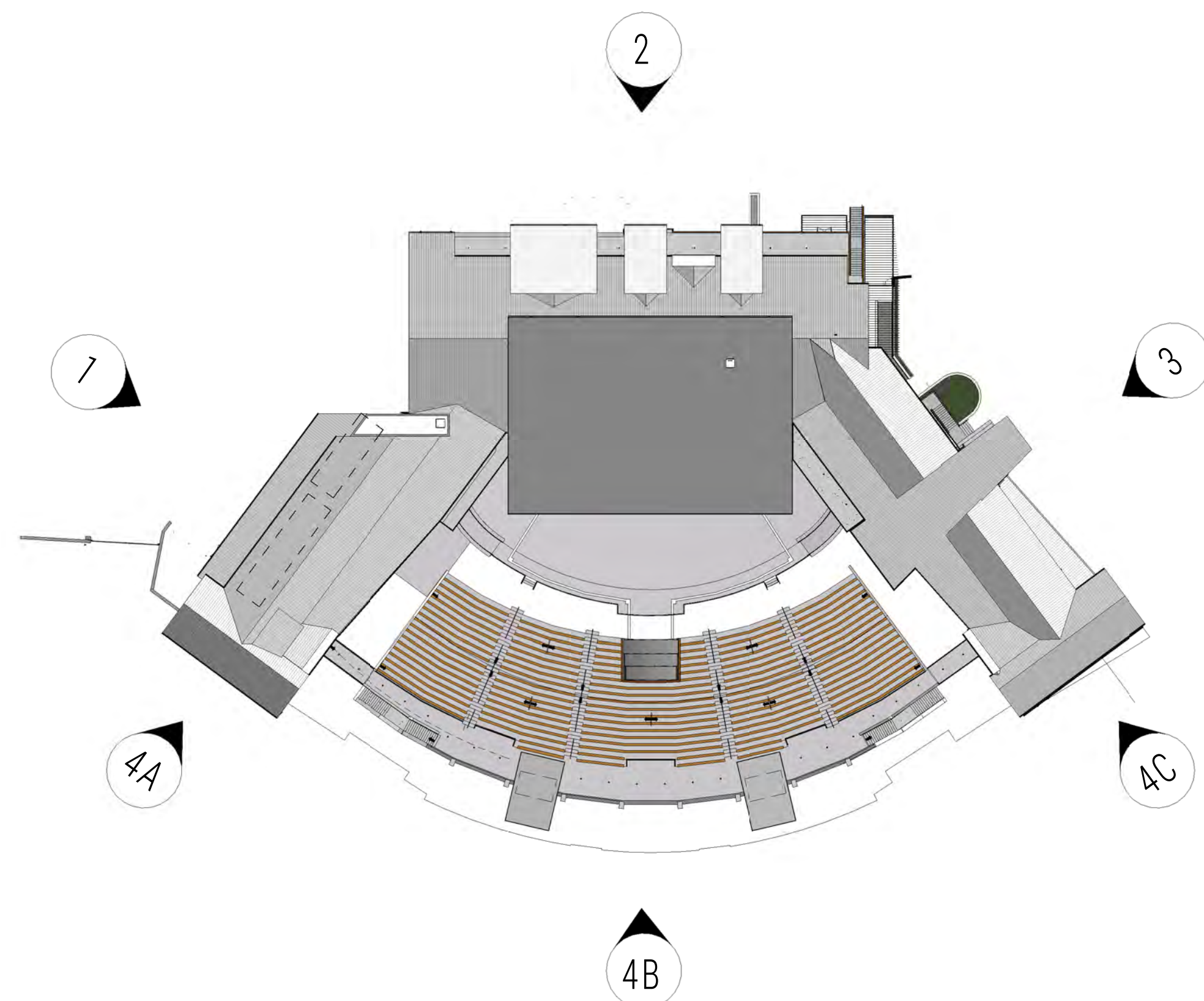
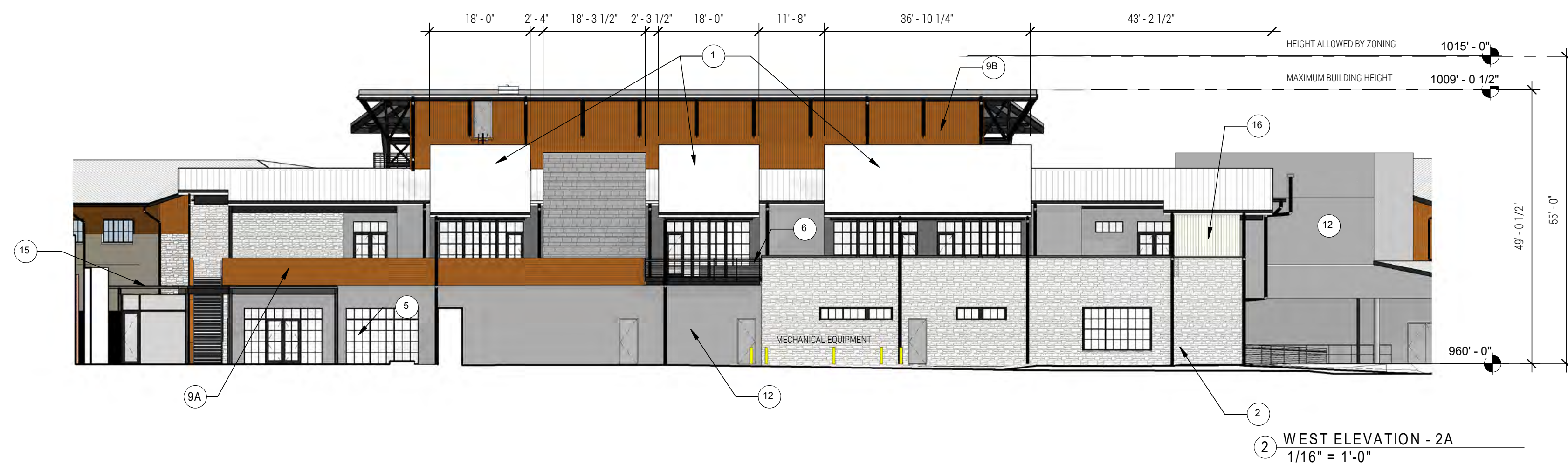
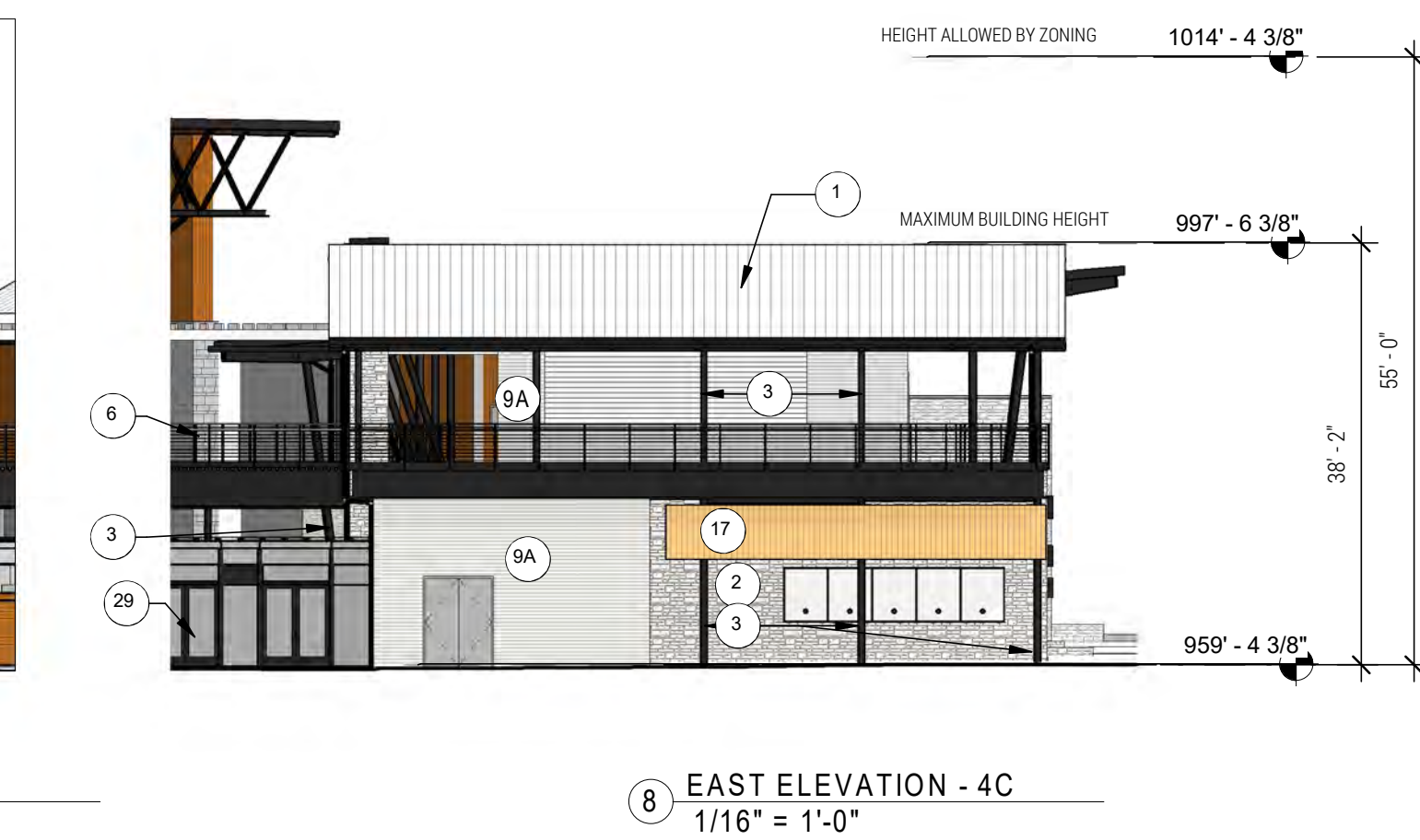
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PRELIMINARY



10	PAINTED STEEL TRUSS - STAGE ROOF	20	T TALL METAL FENCE.
11	NOT USED	21	TPU MEMBRANE ROOF
12	STUCCO W/ ELASTOMERIC COATING	22	OVERHEAD COILING DOOR
13	PAINTED STEEL TRUSS	23	CUT COURSED CHARCOAL LUDERS LIMESTONE
14	ALUMINUM AND GLASS OVERHEAD DOORS	24	STEEL AND WOOD GATE
15	PAINTED STEEL TRELLIS	25	PERFORATED ACOUSTICAL METAL PANELS
16	METAL PANELS	26	NOT USED
17	WOOD SIGN BAND	27	STEEL AND STAINED WOOD GUARDRAIL
18	STACKED LIMESTONE RETAINING WALL (N.I.C.) BUILT IN PHASE 1	28	EXPOSED STRUCTURAL CONCRETE
19	STRUCTURAL CONCRETE RETAINING WALL, N.I.C. (BUILT IN PHASE ONE) FACED WITH BRICK VENEER AS PART OF THIS SCOPE OF WORK. RE. LANDSCAPE DRAWINGS.	29	WIRE MESH INFILL PANELS

<p>1</p>  <p>STANDING SEAM METAL ROOF: ZINC GREY</p>	<p>2</p>  <p>LIMESTONE MASONRY VENEER</p>	<p>9A</p>  <p>STAINED WOOD SIDING</p>	<p>9B</p>  <p>CEMENT BOARD PANELS</p>
<p>12</p>  <p>STUCCO</p>	<p>16</p>  <p>METAL PANELS</p>	<p>23</p>  <p>CHARCOAL LIMESTONE MASONRY VENEER</p>	<p>28</p>  <p>EXPOSED STRUCTURAL CONCRETE</p>

ELEVATION	AREA	GLAZING AREA	% GLAZING
ELEVATION 1	6,674 S.F.	601 S.F.	9%
ELEVATION 2	7,769 S.F.	1,122 S.F.	14%
ELEVATION 3	5,138 S.F.	189 S.F.	4%
ELEVATION 4	11,432 S.F.	777 S.F.	7%

VARIATION - 5 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. WOOD-SIDING 2. STUCCO 3. Limestone MASONRY 4. VINYL 5. METAL PANELS 6. DECORATIVE METAL-SUSPENDED STRUCTURE	<ul style="list-style-type: none"> • MULTIPLE MODULES <50'-0" • GIFFSETS - 4'-0" 	<ul style="list-style-type: none"> • PITCHED ROOF • VARED ROOF HEIGHTS

VARIATION - 3 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. WOOD SIDING 2. LIMESTONE MASONRY VENER 3. DECORATIVE METALS/EXPOSED STRUCTURE	<ul style="list-style-type: none"> • MULTIPLE MODULES -50'0" • OFFSETS > 4'0" • CURVED FACADE AT BACK OF SECOND ROW, WITH ARTICULATION AT BAYS 	<ul style="list-style-type: none"> • PITCHED ROOF • VARIED ROOF HEIGHTS

VARIATION - 5 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. WOOD LIKE FIBER CEMENT 2. STUCCO 3. LIMESTONE MASONRY VENEER 4. METAL PANELS 5. DECORATIVE METALS/ EXPOSED STRUCTURE	<ul style="list-style-type: none"> • MULTIPLE MODULES <50' 0" • OFFSETS < 4 0" 	<ul style="list-style-type: none"> • PITCHED ROOF • VARIED ROOF HEIGHTS

VARIATION - 5 REQ.	ARTICULATION - HORIZONTAL	ARTICULATION - VERTICAL
1. WOOD-SIDING 2. STUCCO 3. LIMESTONE MASONRY VENEER 4. METAL PANELS 5. DECORATIVE METALS/EXPOSED STRUCTURE	<ul style="list-style-type: none"> • MULTIPLE MODULES <50' 0" • OFFSETS < 4' 0" 	<ul style="list-style-type: none"> • PITCHED ROOF • VARIED ROOF HEIGHTS

PDD-01

A NEW BUILDING FOR
BACKYARD LIVE OAK AMPHITHEATER
13801 BEE CAVE PARKWAY BEE CAVE, TX 78738

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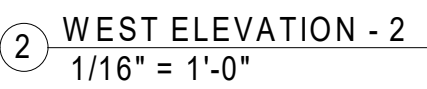
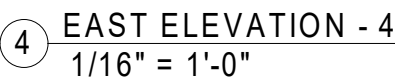
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PRELIMINARY



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A NEW BUILDING FOR

ARCHITECTURAL
PRE-APPROVAL

DATE: 9-9-2022
DRAWN: S/S
SCALE: AS NOTED

[illegible]

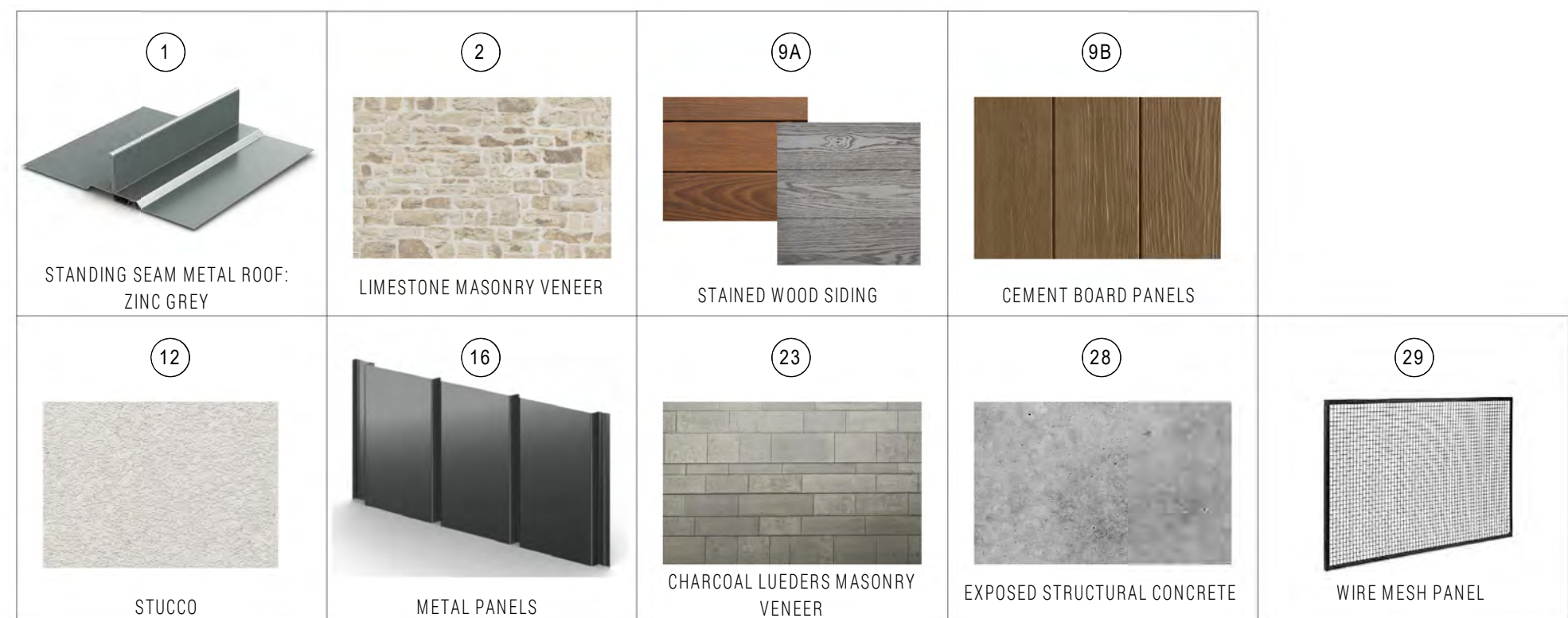
PDD

PDD-02

KEY NOTES

- | | | | | | |
|----|---|----|--|----|---------------------------------------|
| 1 | STANDING SEAM METAL ROOF | 10 | PAINTED STEEL TRUSS- STAGE ROOF | 20 | 7' TALL METAL FENCE. |
| 2 | LIMESTONE MASONRY VENEER | 11 | NOT USED | 21 | TPO MEMBRANE ROOF |
| 3 | PAINTED STEEL COLUMN | 12 | STUCCO W/ ELASTOMERIC COATING | 22 | OVERHEAD COILING DOOR |
| 4 | NOT USED | 13 | PAINTED STEEL TRUSS | 23 | CUT COURSED CHARCOAL LUDERS LIMESTONE |
| 5 | ALUMINUM WINDOWS | 14 | ALUMINUM AND GLASS OVERHEAD DOORS | 24 | STEEL AND WOOD GATE |
| 6 | 42" PAINTED STEEL GUARDRAIL | 15 | PAINTED STEEL TRELLIS | 25 | PERFORATED ACOUSTICAL METAL PANELS |
| 7 | FOLLOW SPOT PLATFORM | 16 | METAL PANELS | 26 | NOT USED |
| 8 | PAINTED STEEL SECURITY GATE | 17 | WOOD SIGN BAND | 27 | STEEL AND STAINED WOOD GUARDRAIL |
| 9A | STAINED WOOD SIDING | 18 | STACKED LIMESTONE RETAINING WALL (N.I.C) BUILT IN PHASE 1 | 28 | EXPOSED STRUCTURAL CONCRETE |
| 9B | NICHHA CEMENT BOARD PANELS - VINTAGE WOOD CEDAR | 19 | STRUCTURAL CONCRETE RETAINING WALL N.I.C (BUILT IN PHASE ONE) FACED WITH BRICK VENEER AS PART OF THIS SCOPE OF WORK. RE: LANDSCAPE DRAWINGS. | 29 | WIRE MESH INFILL PANELS |

MATERIAL PALETTE



G1 BUILDINGS: 8,950 S.F.
ELEV: A-970.19', B-970.83'
DANCE HALL W/ F&B
PUBLIC RESTROOMS

G2 BUILDINGS: 3,000 S.F.
ELEV: A-962.39', B-962.71', C-963.04'
RETAIL, F&B

G5 BUILDINGS: 5,960 S.F.
ELEV: A-975.75', B-970.21'
F&B

G8 BUILDINGS: 500 S.F.
ELEV: 962.56'
PERFORMANCE STAGE

G9 BUILDINGS: 11,300 S.F.
ELEV: 1st Floor: 962.58'
2nd Floor: 975.25'
BREWHOUSE

G10 BUILDINGS: 10,500 S.F.
ELEV: A-962', B-961.58'
WINE BAR/RETAIL/
OFFICE

G3 BUILDINGS: 12,000 S.F.
ELEV: 959.01'
FOOD & BEVERAGE

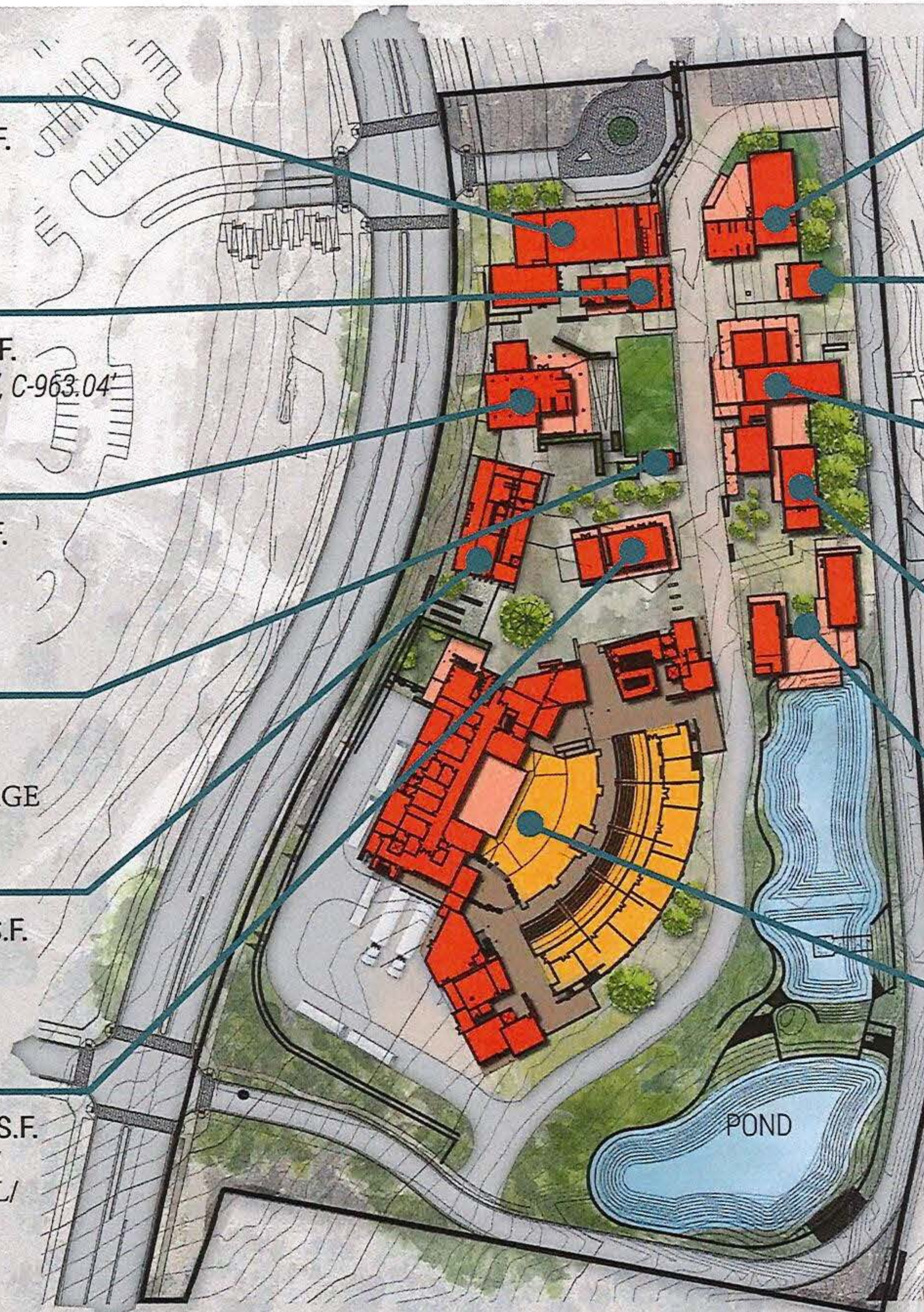
G4 BUILDINGS: 1,250 S.F.
ELEV: 959.25'
FOOD & BEVERAGE

G6 BUILDINGS: 12,330 S.F.
ELEV: A-959.35', B-958.77', C-958.25'
D-960.8', E-959.72'
MIXED-USE: RETAIL/F&B

G7 BUILDINGS: 2,400 S.F.
ELEV: 958.25'
COMMUNITY EVENT CENTER

G11 BUILDINGS: 5,500 S.F.
ELEV: A-958.75', B-958.05'
FOOD & BEVERAGE

VENUE 96,000 S.F.
STAGE ELEV. 960'
BACK OF HOUSE
FRONT OF HOUSE NORTH
FRONT OF HOUSE SOUTH
AMPHITHEATER
STORAGE UNDER BOWL





Planning and Zoning Commission Meeting

10/4/2022

Agenda Item Transmittal

Agenda Item: 6.

Agenda Title: Discuss 5-year update of the Our Bee Cave 2037 Comprehensive Plan and review Future Land Use & Annexation and Housing & Neighborhoods elements of the Plan

Commission Action:

Department: Planning and Development

Staff Contact: E. Megan Will, Director of Planning & Development

1. INTRODUCTION/PURPOSE

At the 9/20/22 Planning and Zoning Commission meeting the Commission began the process of completing an evaluation and update of the Comprehensive Plan, "Our Bee Cave 2037" by reviewing demographic and development changes since the plan's 2016 adoption.

The next step in the evaluation and update is a review of the Goals and Strategies provided in each element of the Plan. The first set of elements to be reviewed are Future Land Use & Annexation and Housing & Neighborhoods.

2. DESCRIPTION/JUSTIFICATION

a) Background

Please see the attached PowerPoint slides. The slides include the Goals and Strategies included in each element and highlight those that had specific tasks or actions associated with them in the Work Plan developed for the implementation of the Comprehensive Plan. Staff has provided the following information for each item: the lead city department responsible for the item, internal and external partners with a role in completion, reference to related UDC (Code) sections if applicable, the timeline for completion and the current status. Staff will review these slides with the Commission and engage in a discussion of needed additions, changes, and edits to the Goals, Strategies, and Work Plan.

b) Issues and Analysis

See attached PowerPoint slides.

The anticipated timeline for completing the 5-year evaluation of the Comprehensive Plan and compiling proposed updates is as follows:

~~9/20/22: Introductory discussion of Plan review and update with an overview of demographic and development trends 2016-2022~~

10/4/2022: Begin review of plan element Goals & Strategies. Future Land Use & Annexation, Housing & Neighborhoods

10/18/2022: Continue review of plan element Goals & Strategies. Mobility, Public Facilities, Services & Infrastructure

11/1/2022: Continue review of plan element Goals & Strategies. Parks & Recreation and Environment & Resource Protection

11/15/2022: Continue review of plan element Goals & Strategies. Community Character, Economic Development, Culture & Education

12/6/2022: Review/consensus on recommended Plan updates.

January 2023 - Staff provides Evaluation Report to P&Z and Council including recommendations for major updates to Bee Cave 2037 based on the evaluation.

Jan/Feb 2023: Staff available to discuss report/recommendations at P&Z and Council meetings as requested.

March 2023: Joint P&Z & Council session to discuss report findings and consider action on major update recommendations.

3. FINANCIAL/BUDGET

Amount Requested	Fund/Account No.
Cert. Obligation	GO Funds
Other source	Grant title
Addtl tracking info	

4. TIMELINE CONSIDERATIONS

see above

5. RECOMMENDATION

N/A

ATTACHMENTS:

Description	Type
<input type="checkbox"/> 5-Year Comprehensive Plan Update: Future Land Use & Annexation and Housing & Neighborhoods	Cover Memo

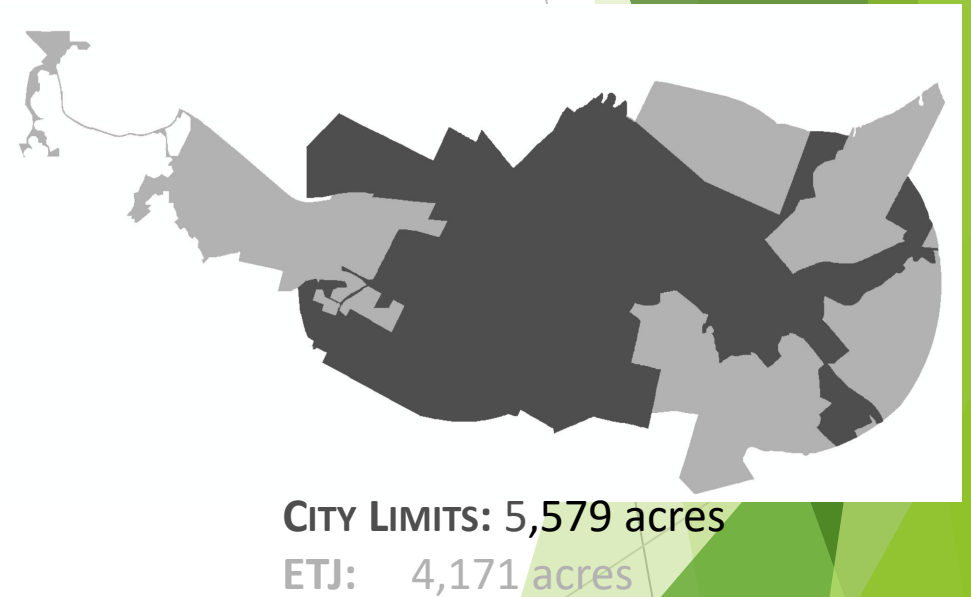
Bee Cave Comprehensive Plan Review & 5-Year Update

Future Land Use & Annexation
Housing & Neighborhoods

Future Land Use & Annexation*

- ▶ (2016) Bee Cave is approximately 4,360 acres (6.8 square miles) in size and is surrounded by its Extra-Territorial Jurisdiction (ETJ) area located just outside of City limits which is approximately 5,282 acres (8.3 square miles).

*2019 HB essentially ended involuntary Annexation



Future Land Use Goals & Strategies

GOAL FLU-1:

Encourage coordinated, phased, and well-planned growth and development that is consistent with the Future Land Use Map, Thoroughfare Plan, and Utilities Plan, while retaining the “Hill Country” and “small-town” character of the City .

Throughout the planning process, residents expressed strong support for retaining and enhancing Bee Cave’s character and sense of place to the extent possible as the City grows. The Comprehensive Plan Vision and Future Land Use Element provide the overall framework for land use and zoning decisions, capital investment planning, and small area or sector plans.

- ▶ 1.1 Use the Future Land Use Map (FLUM) categories and character areas to establish and communicate clear guidelines and refine regulations consistent with the vision and strategies for future development with the public and potential developers.
- ▶ 1.2 Continue to use the annexation process to plan for orderly growth and development within Bee Cave’s ETJ.
- ▶ 1.3 Maintain a continuous and coordinated public planning process that involves citizens, the City Council, other municipal boards/commissions, municipal departments, local public and private entities, and regional organizations in policy development and decision-making. Tools to enhance communication and coordination with the public include annual schedule of events and opportunities for involvement; annual reports highlighting / tracking progress on implementation of the plan; and introduction of regular communication through events or open office hours.
- ▶ 1.4 Coordinate with the City of Austin and other adjacent municipalities, the WTCPUA, the Lake Travis ISD, Travis County, TxDOT, and other regional planning organizations to maintain an ongoing dialogue and plan for projected growth, water conservation, transportation plans, and employment trends in the region.
- ▶ 1.5 Maintain companion policies with design guidelines and site plan checklists to assist in the review of zoning and development requests and ensure consistency with the Comprehensive Plan. One of the actions described in the City’s Work Plan is to revise and update Bee Cave’s Zoning and Subdivision Ordinances to reflect the modified Future Land Use categories and consider ways to improve the administration and understanding of Bee Cave’s ordinances.

1.3

Maintain a continuous and coordinated public planning process that involves citizens, the City Council, other municipal boards/commissions, municipal departments, local public and private entities, and regional organizations in policy development and decision-making. Tools to enhance communication and coordination with the public include annual schedule of events and opportunities for involvement; annual reports highlighting / tracking progress on implementation of the plan; and introduction of regular communication through events or open office hours.

Work Item	Lead	Partner(s), Internal or External	UDC Reference (if applicable)	Timeline (short, med, long)	Status
1.3.1 Prepare an annual schedule and clearinghouse of public involvement activities highlighting opportunities for public involvement in government and non-government committee / commission meetings and events.	Communications	Planning & Development Public Library Chambers of Commerce		Short, repeating annually	Ongoing
1.3.2 Prepare an annual report of the Planning and Zoning Commission and regularly update the public on the implementation of the city's planning efforts including the Comprehensive Plan including the Thoroughfare Plan, Hike and Bike Connectivity Plan, and various Parks Master Plans	Planning & Development	Parks & Facilities		Short, repeating annually	Started
1.3.3 Encourage an open dialogue with the community through regular communication, open office hours (e.g., once a month advertised time), participation in community events, and by sharing information about how the public can get involved in implementation of projects.	Communications	Planning & Development Parks & Facilities		All	Ongoing Clint & Mayor's quarterly Q&A sessions vs. "office hours"

Timeline: short 1 year or less, medium 2-5 years, long 5+ years

Status: started, delayed, complete, ongoing

1.4

Coordinate with the City of Austin and other adjacent municipalities, the WTCPUA, the Lake Travis ISD, Travis County, TxDOT, and other regional planning organizations to maintain an ongoing dialogue and plan for projected growth, water conservation, transportation plans, and employment trends in the region.

Work Item	Lead	Partner(s), Internal or External	UDC Reference (if applicable)	Timeline (short, med, long)	Status
1.4.1 Participate in regional and strategic planning efforts with Travis County, CAMPO, and CARTS that will benefit the city and provide opportunities for Bee Cave residents to have a voice in the future of the region.	Planning & Development			All	Ongoing <i>Consider adding TxDOT, CAP Metro, others to list?</i>
1.4.2 Continue to work with the Lake Travis ISD to ensure coordination between school site selection and safe multi-modal access to schools.	Planning & Development			All	Ongoing
1.4.3 Coordinate with WTCPUA as needed to ensure that residents within the service area have sufficient access to the region's water and sewer services.	Planning & Development			All	Ongoing

Timeline: short 1 year or less, medium 2-5 years, long 5+ years

Status: started, delayed, completed, ongoing

1.5

Maintain companion policies with design guidelines and site plan checklists to assist in the review of zoning and development requests and ensure consistency with the Comprehensive Plan

Timeline: short 1 year or less, medium 2-5 years, long 5+ years
Status: started, delayed, completed, ongoing

Work Item	Lead	Partner(s), Internal or External	UDC Reference (if applicable)	Timeline (short, med, long)	Status
1.5.1 Consider revising Bee Cave's Zoning Ordinance to include the design principles recommended for each of the city's Character Overlay Areas.	Planning & Development		Article 3	N/A	Completed Hill Country Overlay (Rural Corridor) included in UDC; others did not rise to the level of consideration in UDC discussions <i>Revisit?</i>
1.5.2 Consider the preparation of viewshed protection guidelines to be included with the Character Overlay Areas.	Planning & Development		Section 3.2.16	N/A	Completed Incorporated into Hill Country Overlay
1.5.3 Develop site plan guidance to encourage conservation subdivision as an alternative to traditional subdivision design as part of the development review process.	Planning & Development		Section 2.5	TBD - if retained	Not implemented Did not rise to the level of consideration in UDC discussions. <i>Revisit?</i>
1.5.4 Encourage low-impact design practices (green infrastructure) through integration of BMPs into the Bee Cave's development standards and accompanying guidelines/manuals.	Planning & Development		Section 6.7.5	N/A	Completed

Future Land Use Goals & Strategies

GOAL FLU-2:

Locate compact, pedestrian-scale development in Bee Cave's Town Center, as well as in other established Central Business District areas of Bee Cave, as well as in retail and mixed-use areas.

Bee Cave has an established Town Center zoning district, also reflected on the Future Land Use Map as the Central Business District (CBD) Character Area, which is intended to become a place for local residents and visitors to reside, shop, and recreate. Structures are intended to be smaller in scale, pedestrian oriented with pedestrian amenities, including sidewalks, trails, and seating areas. The Central Business District (CBD) areas provides public space and places for the community to gather. Walkable, pedestrian-scaled development is encouraged throughout the Town Center Future Land Use Area

- ▶ 1.6 Encourage interconnected pedestrian-scale development in designated Central Business District, the Town Center, Urban Neighborhoods, and Urban Corridor areas through shared parking, provision of sidewalks and open space, and buildings located close to the primary street or internal street network. (See also M 2.6, 2.7).
- ▶ 1.7 Locate housing and office uses in and around the Central Business District to create a vibrant day and evening environment that supports the businesses and retail stores in the area. (See also HN 4.8).
- ▶ 1.8 Work with developers and property owners to include the provision of multi-use trail connections in greenway easements or along streets as planned in the Hike and Bike Connectivity Plan, ultimately completing the Bee Cave trail system. (See also M 2.7, PR 3.1, 3.2).
- ▶ 1.9 Consider revisions to the zoning ordinance to allow and encourage cohesive signage within the same planned retail / commercial areas, including entry signs, wayfinding signs, and building identification signs.
- ▶ 1.10 Encourage greater selectivity in the type of non-residential uses that locate in Bee Cave through the provision of design guidelines and the development review process ensuring the continuation of Bee Cave's small-town character. Through the planning process, the community expressed a desire for careful consideration in both the type of businesses that locate in Bee Cave and the way in which sites are developed, especially as fewer sites are available. Initial feedback suggests an interest in coffee shops, a brewery / winery, specialty or prepared foods, music and entertainment type uses, recreation and family friendly type activities.

1.8

Work with developers and property owners to include the provision of multi-use trail connections in greenway easements or along streets as planned in the Hike and Bike Connectivity Plan, ultimately completing the Bee Cave trail system. (See also M 2.7, PR 3.1, 3.2).

Work Item	Lead	Partner(s), Internal or External	UDC Reference (if applicable)	Timeline (short, med, long)	Status
1.8.1 Modify the development review process materials and guidance to specifically incorporate planned trail connections as development occurs.	Planning & Development		Sec. 6.3.7B	Short	Ongoing
1.8.2 Revise the subdivision standards to include trail easement dedication within the park land and public facility dedication consistent with the Hike and Bike Connectivity Plan.	Planning & Development		Sec. 6.3.7B	N/A	Completed
1.8.3 Approach developers and property owners in the Central Business District, commercial, and mixed-use areas about incorporating trail connections through easements or land dedication.	Planning & Development	Parks & Facilities		All	Ongoing

Timeline: short 1 year or less, medium 2-5 years, long 5+ years

Status: started, delayed, completed, ongoing

1.10

Encourage greater selectivity in the type of non-residential uses that locate in Bee Cave through the provision of design guidelines and the development review process ensuring that continuation of Bee Cave's small-town character.

Work Item	Lead	Partner(s), Internal or External	UDC Reference (if applicable)	Timeline (short, med, long)	Status
1.10.1 Maintain an inventory of existing business establishments and identify potential gaps.	P&D	EDB & Chambers		Short Update as necessary	Started Developed during Covid Update regularly based on COs issued
1.10.2 Conduct ongoing, informal surveys of residents and businesses to get a sense of the type of businesses in Bee Cave that are desirable to residents.	Com.	EDB & Chambers		All	Started Some done informally by Com. Annually? Dependent on 1.10.2
1.10.3 Maintain regular communication with property management at the Hill Country Galleria and the Shops at the Galleria and share results of resident preference surveys.	P&D	HCG, Shops		Short	Ongoing
1.10.4 Encourage the community's support of local Bee Cave businesses through a Bee Cave "Buy Local" campaign or similar promotions.	Com.	EDB & Chambers		Ongoing	Ongoing
1.10.5 Review and modify design standards as needed (e.g., colors/styles, architectural features, principles of site organization) to ensure that standards are achieving the desired results in recent development projects.	P&D		Sec. 3.4.5	N/A	*Completed HB 2439 (2019)

Timeline: short 1 year or less, medium 2-5 years, long 5+ years

Status: started, delayed, completed, ongoing

Future Land Use Goals & Strategies

GOAL FLU-3:

Encourage the redevelopment of older, underutilized or obsolete properties to lessen the potential for commercial blight, vacancy, and environmental degradation

There are some older commercial properties in Bee Cave that are or may become in need of redevelopment due to obsolescence of both commercial uses and buildings. Many of these are located on properties which, due to small size or awkward configuration, are not able to meet current setback, impervious coverage requirements, or parking requirements on site, while allowing an owner to build a marketable commercial building if the site was to be redeveloped. For example, the City receives regular inquiries for properties along SH 71 from potential buyers of non-conforming buildings. The City should consider adding performance standards to the zoning and subdivision codes to allow reasonable flexibility that would allow redevelopment and improvement to these sites, in favor of allowing a building to fall into disrepair or become vacant.

- ▶ 1.11 Develop policies and regulations that allow reasonable flexibility for property owners interested in redevelopment of obsolescent commercial properties and/or buildings, which due to small size or configuration, are unable to meet such code requirements as parking ratios, impervious cover limits, setbacks, etc. *The Work Plan recommends several different approaches to addressing redevelopment of older or obsolete properties using a series of characteristics that may include properties: Platted before a certain date (to be determined), Smaller than two acres in size, Located on major thoroughfares.*
- ▶ 1.12 Work with property owners to encourage the consolidation and assembly of sites to allow site development that will meet the City's requirements for parking, stormwater management, and impervious coverage limits.
- ▶ 1.13 Where consolidation of properties for redevelopment is not feasible and on-site stormwater mitigation is difficult, consider an approach that would allow individual property owners to collectively meet the NPS requirements for stormwater mitigation through contributions to a shared "mitigation bank" or series of regional water quality ponds.
- ▶ 1.14 Allow minor improvements to building façades, parking lots, and other site improvements, as long as they are consistent with the City's ordinances and will improve the function and appearance of buildings, for non-conforming buildings. **(Consolidated with 1.11; see Work Item 1.11.3)**

1.11

Develop policies and regulations that allow reasonable flexibility for property owners interested in redevelopment of obsolescent commercial properties and/or buildings, which due to small size or configuration, are unable to meet such code requirements as parking ratios, impervious cover limits, setbacks, etc.

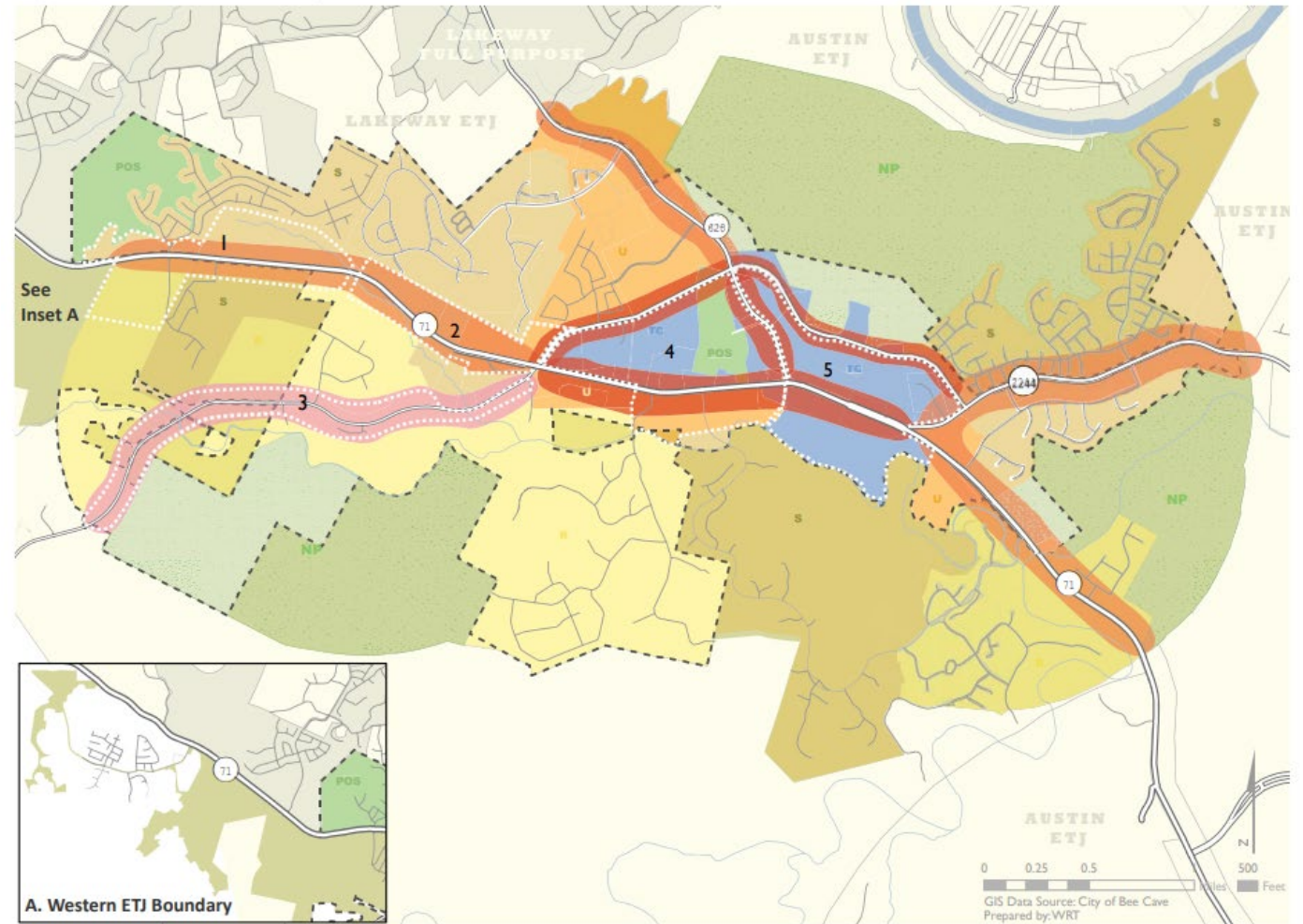
Work Item	Lead	Partner(s), Internal or External	UDC Reference (if applicable)	Timeline (short, med, long)	Status
1.11.1 Identify non-residential parcels that are less than 2 acres in size and have the potential to be redeveloped (e.g., vacant building or site, underutilized site, building/parking in need of repair, building use is no longer viable) along the SH 71 and Hamilton Pool Road corridors.	P&D			N/A	Completed
1.11.2 Consider the development of a floating overlay district that would allow property owners interested in redeveloping a site (of less than 2 acres) to apply and request some flexibility in meeting the required standards for setbacks, parking, and/or stormwater detention.	P&D		Sec. 3.4.1H.2 Sec. 3.4.2B.2 Sec. 7.3.2C.3 Sec. 7.3.2J.2	N/A	Completed <i>Done through specific regulations vs. floating zone</i>
1.11.3 Revise the zoning ordinance to clearly allow minor building façade improvements or other site improvements for non-conforming buildings that will improve the appearance and functionality of an existing building, as long as the improvements are consistent with Bee Cave's architectural standards and materials.	P&D		Sec. 3.4.11	N/A	*Completed HB 2439 (2019)

Timeline: short 1 year or less, medium 2-5 years, long 5+ years

Status: started, delayed, completed, ongoing

Future Land Use Map

- One of the key responsibilities of the Comprehensive Plan is to serve as a guide for future development or redevelopment.
- Future land use classifications do not carry the same legal weight as zoning; they do however provide a guide for considering new annexations, zoning and zoning change requests.



- Bee Cave ETJ
- Other Jurisdictions' ETJ
- Bee Cave Corporate Limits
- Other Jurisdictions' Corporate Limits

Future Land Use

Future Land Use Categories

- Rural Neighborhood
- Suburban Neighborhood
- Urban Neighborhood

- Rural Corridor
- Suburban Corridor
- Urban Corridor

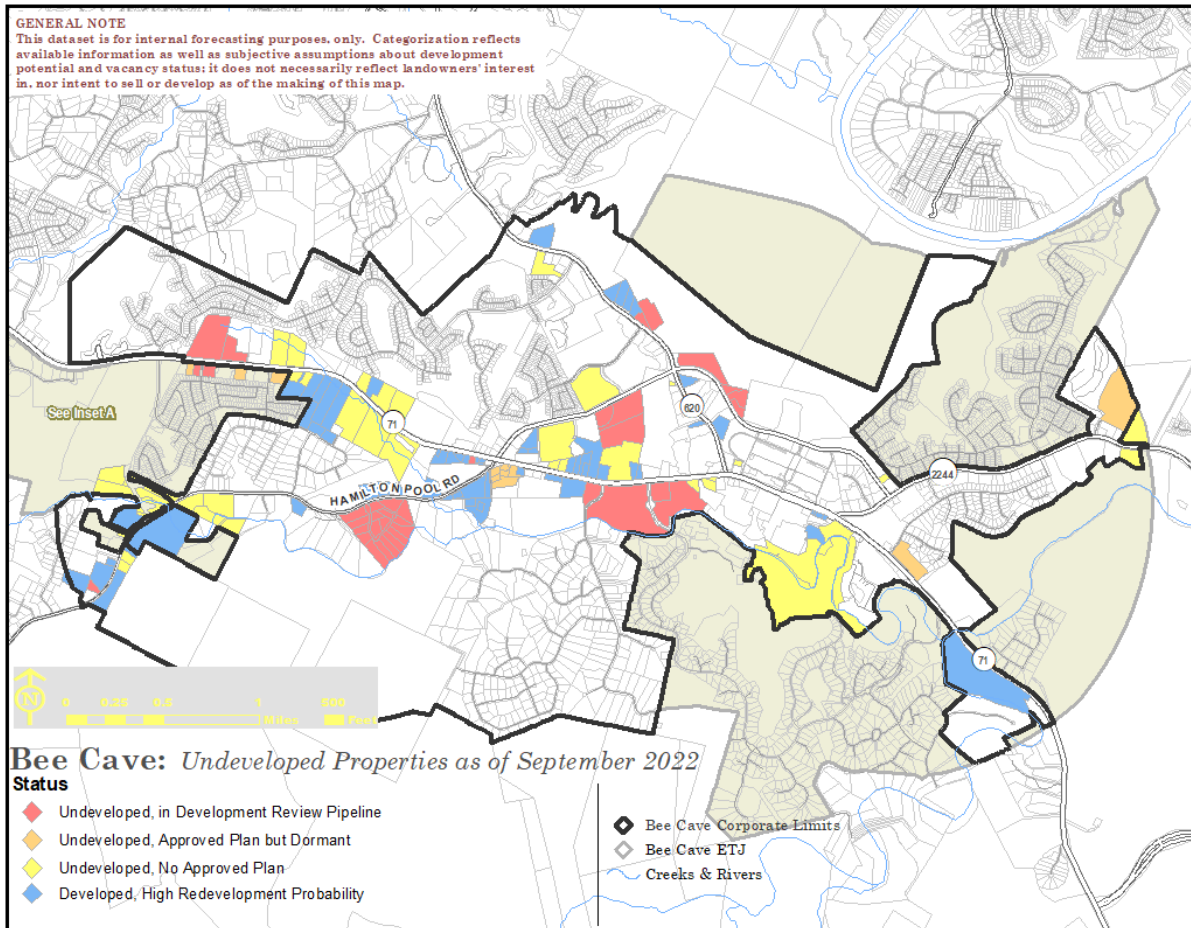
- Town Center
- Parks & Open Space
- Nature Preserve

Character Overlay Areas

1. West Gateway
2. Central SH 71 Corridor
3. Hamilton Pool Corridor
4. Recreation and Entertainment District
5. Central Business District

Future Land Use

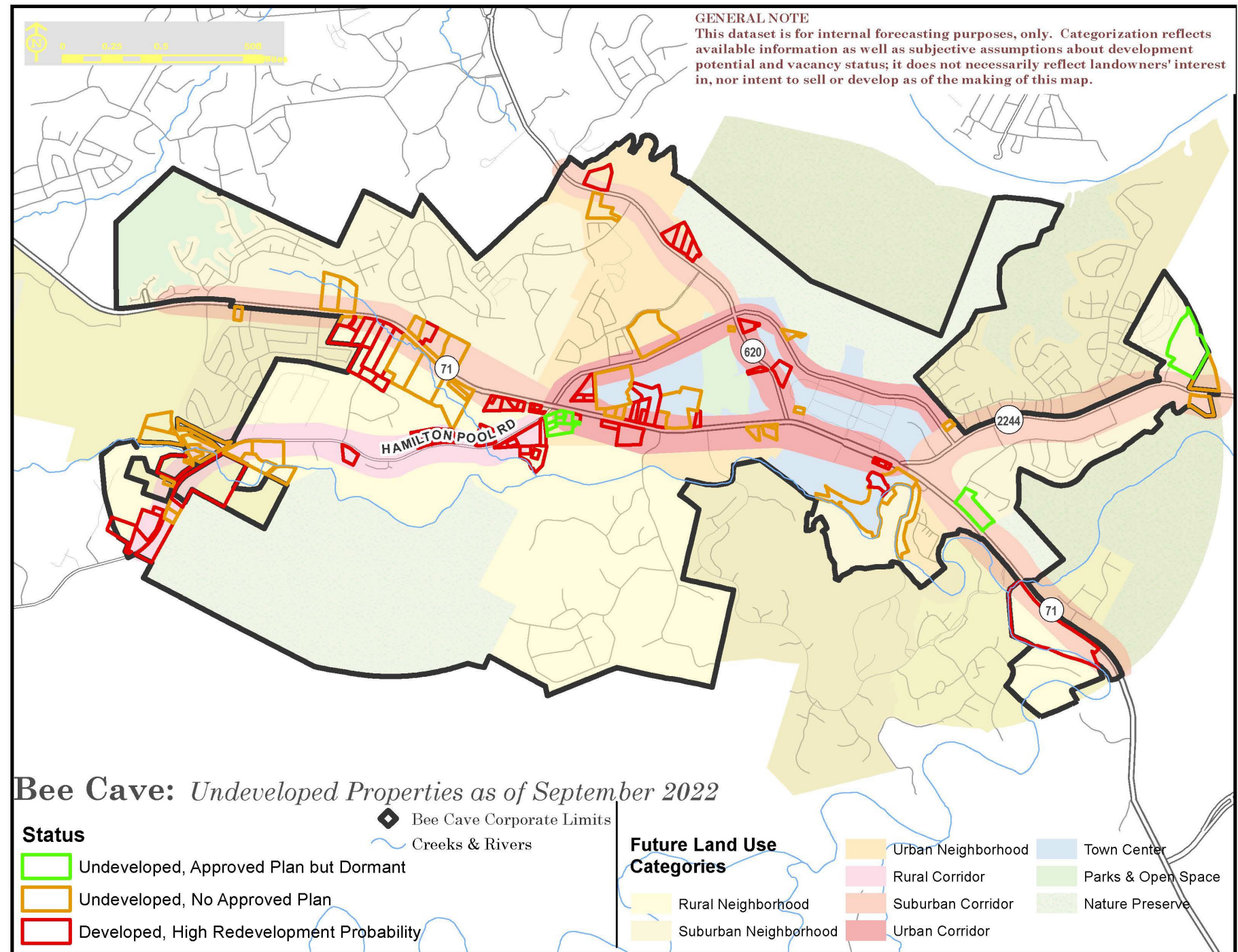
- A guide for future development or redevelopment



Existing Land Use: Bee Cave City Limits 2022	Acres	%
Agriculture/Ranch/Wildlife Exemption	52.29	0.99%
Attached Multi-Family Residential	165.46	3.14%
Cemetery/Historical Structure(s)	8.43	0.16%
Conservation Land	1,199.51	22.79%
Golf Course	203.67	3.87%
Group Home/Assisted Living	19.02	0.36%
Heavy Commercial	25.58	0.49%
Mixed Retail/Service/Office	80.23	1.52%
Municipal Facility	29.82	0.57%
Open Space/Landscape/Water Quality Treatment	235.03	4.47%
Park/Recreation (Public, Private, Commercial)	268.43	5.10%
Patio Home	48.12	0.91%
Professional/Medical Office	56.02	1.06%
Religious Institution	55.47	1.05%
Retail/Service	428.78	8.15%
School	29.28	0.56%
Single Family Residential: Large Lot	1,077.51	20.47%
Single Family Residential: Medium Lot	181.01	3.44%
Single Family Residential: Small Lot	300.32	5.71%
Townhouse	1.22	0.02%
Utilities	145.07	2.76%
Vacant - Future Residential	270.14	5.13%
Vacant/Undeveloped	383.16	7.28%
Total	5,263.54	100.00%

Future Land Use

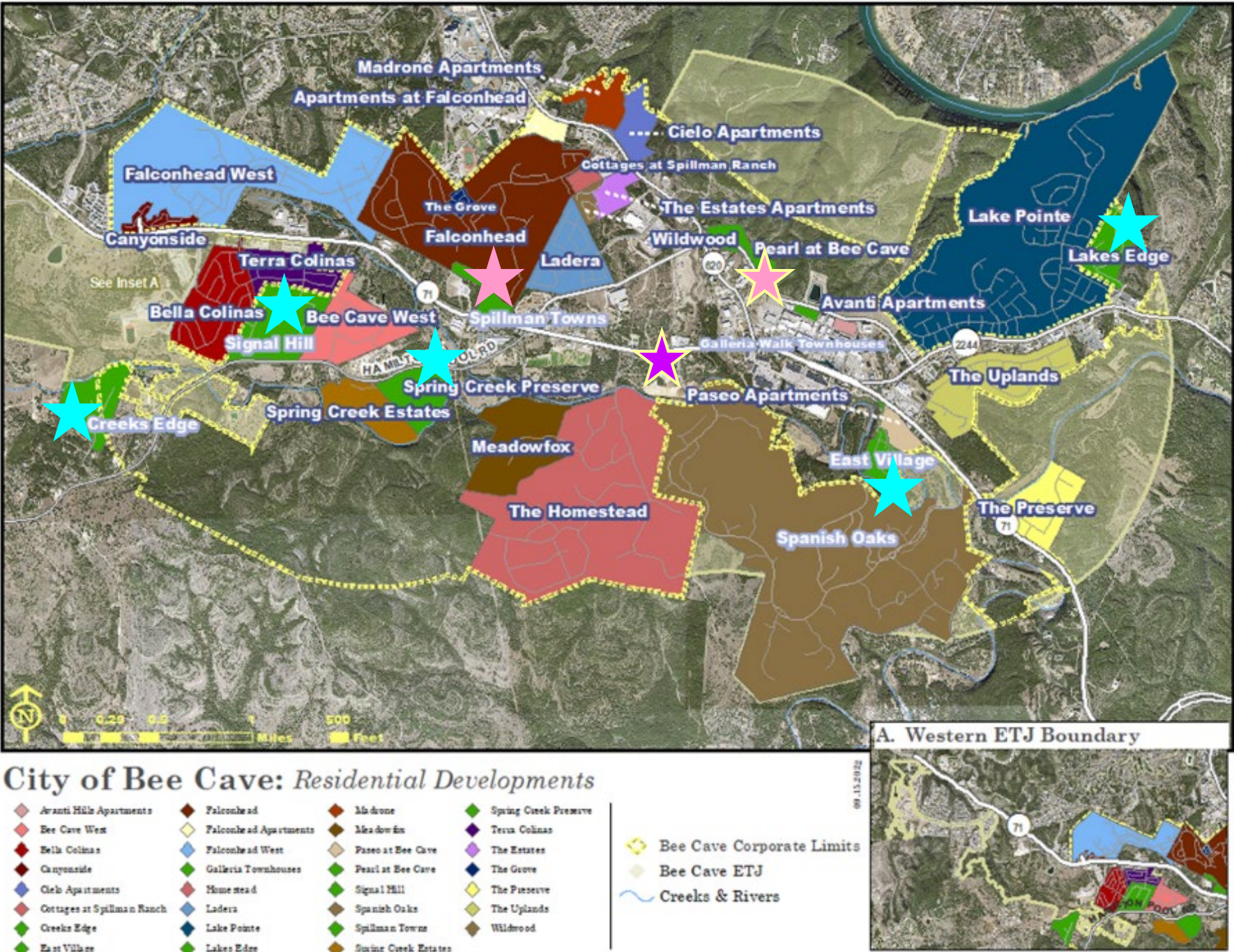
Areas of Potential Change



Housing & Neighborhoods

2020 Household Type	# of Units
Single-family Detached	2,109
Mobile Homes	18
Apartments	1,846
Assisted Living	252
Total	4,225

September 2022	
Approved - Unbuilt	
Residential	
Single Family	454
Multifamily	981
Senior	225



Housing and Neighborhood Goals & Strategies

GOAL HN-1:

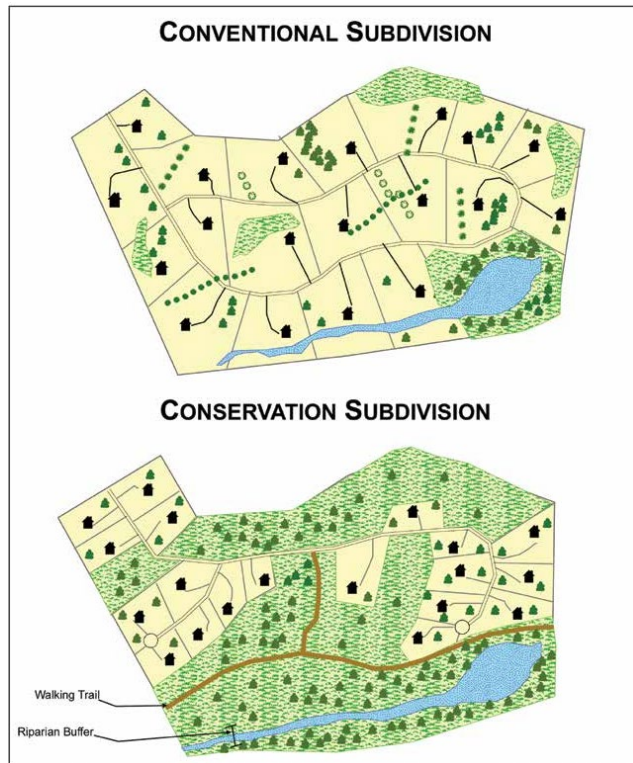
Preserve the existing rural residential and “small-town” character of residential areas of Bee Cave and the ETJ.

The largest category of land use in Bee Cave is “large lot” or low-density single-family residential, making up 25% of total land area. Throughout the development of the plan, residents expressed their preference for the small-town, rural character of the City, as well as views of open spaces that represent the Hill Country character. Many of Bee Cave’s neighborhoods are characterized by large-lots, equestrian and walking trails, and attractive views that should be preserved.

- ▶ 4.1 Continue to limit density in rural / suburban areas of the City through zoning requirements for gross density (number of dwelling units per acre), maximum FAR, and setbacks.
- ▶ 4.2 Develop standards that permit and encourage conservation subdivision design in single-family residential zoning districts with a rural or large lot character to allow smaller clustered lots within existing gross density limits to protect and enhance open space, views, and environmentally sensitive features.
- ▶ 4.3 Preserve Hill Country views and tree canopy to the extent possible through standards for site design and placement of roads, housing units, and utilities.
- ▶ 4.4 Encourage home ownership and long-term residency in Bee Cave that is attractive to a range of household types and maintain a target of two owner-occupied for every one renter occupied housing unit. *Bee Cave is made up of a healthy mix of owner-occupied and renter occupied housing units (the most recent census estimated that 64% of housing units in Bee Cave were owner-occupied compared to 35% renter occupied). The majority of the City’s housing units have been built since 2000 and, in general, most single-family homes are owner-occupied, while attached or multi-family units are renter occupied. There are few options in housing types (other than single-family detached) for those interested in buying a home in Bee Cave.*
- ▶ 4.5 Limit high costs associated with building new water and wastewater infrastructure and roads to serve currently undeveloped areas by promoting compact, contiguous development where possible.

4.2

Develop standards that permit and encourage conservation subdivision design in single-family residential zoning districts (SF RR, SF 20) to allow smaller clustered lots within existing gross density limits to protect and enhance open space, views, and environmentally sensitive features.



Work Item	Lead	Partner(s), Internal or External	UDC Reference (if applicable)	Timeline (short, med, long)	Status
4.2.1 Revise the zoning ordinance to define and include conservation subdivision as a permitted use in SF-RR and SF-20 zoning districts.	P&D			TBD	Not implemented See also 1.5.3 <i>Revisit?</i>
4.2.2 Prepare guidance for developers and property owners on the benefits of conservation subdivision design (including potential economic and environmental benefits and lower infrastructure costs). Use the 4-step process (pioneered by Randall Arendt) to design subdivisions by: 1) identifying land that should be protected, locating the sites of individual homes, designing the street and trail network, and drawing in lot lines.	P&D			TBD	Not implemented See also 1.5.3 <i>Revisit?</i>

Timeline: short 1 year or less, medium 2-5 years, long 5+ years

Status: started, delayed, complete, ongoing

4.4

Encourage home ownership and long-term residency in Bee Cave that is attractive to a range of household types and maintain a target of two owner-occupied for every one renter occupied housing unit.



Work Item	Lead	Partner(s), Internal or External	UDC Reference (if applicable)	Timeline (short, med, long)	Status
4.4.1 Work with developers during the planning phases to encourage a variety of for-sale housing that might be more attractive or affordable to couples without children, single adults, empty-nesters, or seniors.	P&D	Developers		All	Ongoing

Timeline: short 1 year or less, medium 2-5 years, long 5+ years
 Status: started, delayed, complete, ongoing



Housing and Neighborhood Goals & Strategies

GOAL HN-2:

Promote a variety of housing choices within Bee Cave and the region.

According to the most recent census estimates, about 60% of housing units are single-family detached and almost 30% are multi-family buildings with five or more units per building. There are however, few single family attached, duplexes, or triplexes in Bee Cave. While the predominant housing type should remain as low-moderate density single-family, with a growing population of retiring, empty-nest baby boomers and millennials in one and two-person households entering the housing market, there is a need to continue to diversify the housing stock. There is a particular opportunity to encourage a mix of unit types, including apartments and townhomes within the urban corridors and Central Business District (CBD) where established neighborhoods will not be impacted.

- ▶ *4.6 Encourage a mix of housing types and residential unit configurations that allow people to live in Bee Cave throughout their lives, at all stages of life with a range of housing options. Residential units should include the development of a range of options for senior housing, including smaller units to allow aging in place, shared housing arrangements to accommodate care-takers, active adult setting, independent living, and assisted living arrangements. The City should consider updating its list of permitted uses to allow accessory dwellings in a greater number of zoning districts.*
- ▶ *4.7 Promote the development of mixed-use (residential above retail or office) and small-scale multi-family residential (2-3-4 unit townhomes/duplexes) within Urban Neighborhoods and Corridors, and within the Central Business District (CBD) areas of the City that complements the character of the CBD development.*
- ▶ *4.8 Revise residential and mixed-use zoning districts, as necessary, to ensure housing diversity is not hindered through required setbacks, parking requirements, or use restrictions. Through the City's review and update of development codes, Bee Cave should review parking minimums to ensure that parking is not unnecessarily built (e.g., senior units) and consider changes to permit condos, duplexes, and 3-4 family units in a greater number of zoning districts.*
- ▶ *4.9 Work with surrounding communities and Travis County in addressing the quality, supply, and affordability of housing as a region.*
- ▶ *4.10 Encourage the use of Low Impact Development (LID) practices through the site design process and improve energy efficiency in residential buildings. LID practices consider the siting of buildings, as well as the conservation and treatment of the environment through use of green infrastructure. (See also PFS 6.6). The City can provide information and best practices to residents and property owners about BMPs.*

4.6

Develop standards that permit and encourage conservation subdivision design in single-family residential zoning districts (SF RR, SF 20) to allow smaller clustered lots within existing gross density limits to protect and enhance open space, views, and environmentally sensitive features.

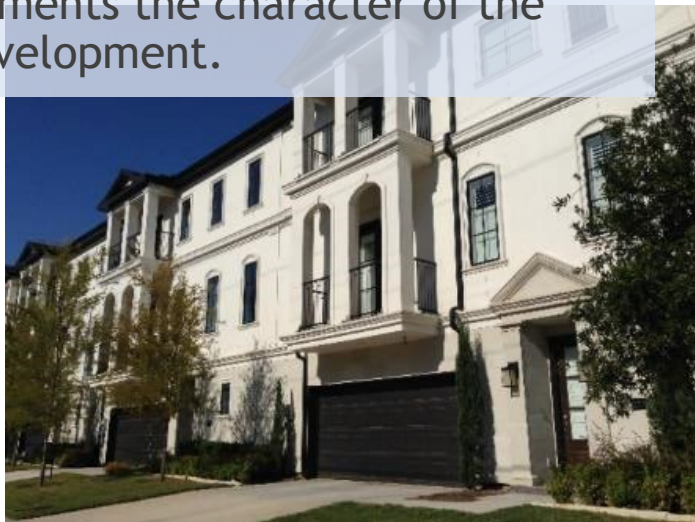
Work Item	Lead	Partners	UDC Ref.	Time	Status
4.6.1 Revise the zoning use regulations to allow accessory dwellings (in-law suites) in additional districts such as the SF-20 district (currently only permitted in the Ag and SF-RR districts).	P&D		Sec. 3.3.5 & 3.4.8B.1	N/A	Completed ADUs are allowed in all Residential & MU Districts
4.6.2 Revise the zoning use regulations to broaden the definition of senior housing types (e.g., 55+ communities, active living developments, patio homes) and allow senior housing in residential districts.	P&D		Sec. 3.3.5	N/A	Completed Independent Living in R4 to MU-TC & Assisted Living in MU-C to CR
4.6.3 Encourage senior housing projects that are developed to be ADA / universal design compliant and include a range of healthy living amenities and programs (e.g., age-appropriate recreation, lifelong learning opportunities, gardening / outdoor space).	P&D	Developers, Real estate prof.		All	Ongoing See below
4.6.4 Plan for the accommodation of senior housing in areas with convenient access to community services, parks, retail, and health services. Where possible, locate senior housing with easy access to community services.	P&D	Developers, Real estate prof.		All	Ongoing Senior housing is included in VSO & Uplands Ridge PDDs Longleaf is next to BCCP and across from HCG

Timeline: short 1 year or less, medium 2-5 years, long 5+ years
Status: started, delayed, complete, ongoing



4.7

Promote the development of mixed-use (residential above retail or office) and small-scale multi-family residential (2-3-4 unit townhomes/duplexes) within Urban Neighborhoods and Corridors, and within the Central Business District (CBD) areas of the City that complements the character of the CBD development.



Timeline: short 1 year or less, medium 2-5 years, long 5+ years
Status: started, delayed, complete, ongoing

Work Item	Lead	Partners	UDC Ref.	Time	Status
4.7.1 Consider regulatory incentives (e.g., density bonuses, reduced parking requirements) to expand diverse housing options within the CBD the “Bee Cave Triangle” to support existing businesses, create a vibrant, mixed-use environment, and direct development away from undeveloped areas without immediate access to utilities and services.	P&D		Sec. 3.4.1 & 3.4.4E.4	N/A	Completed Density incentive for Workforce Housing & increased permitted density in MU-TC district included in UDC



4.8

Revise residential and mixed-use zoning districts, as necessary, to ensure housing diversity is not hindered through required setbacks, parking requirements, or use restrictions

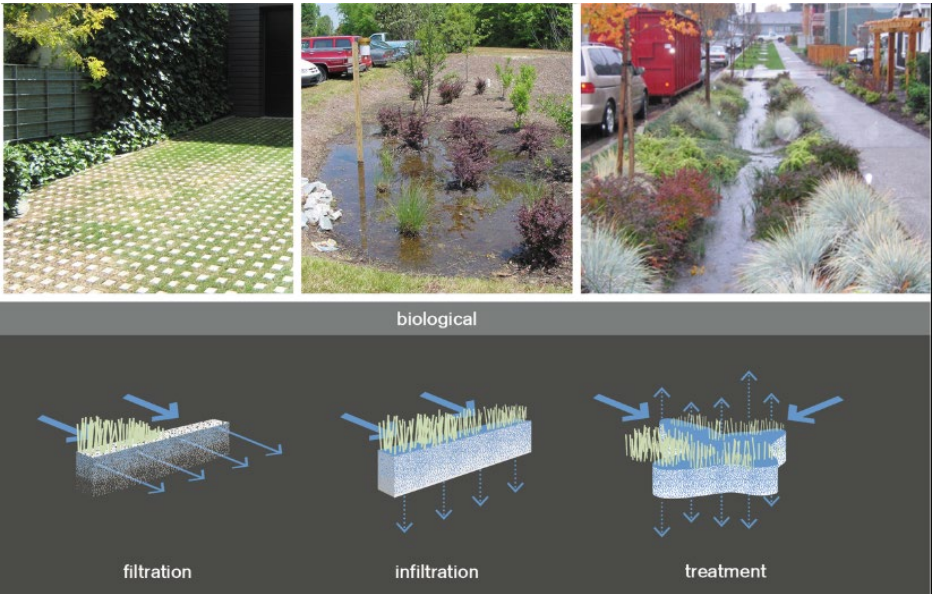
Work Item	Lead	Partner(s), Internal or External	UDC Reference (if applicable)	Timeline (short, med, long)	Status
4.8.1 Review parking minimums for different residential housing types to ensure that parking spaces are not unnecessarily built or exceeding actual demand. <i>For example, senior retirement housing requires 1.5 spaces/dwelling which may be higher than the need.</i>	P&D		Sec. 3.3.5	N/A	Completed Updated parking requirements reviewed and updated as needed in UDC Assisted Living 1/bed or room
4.8.2 Review zoning ordinance use regulations to consider permitting: <ul style="list-style-type: none"> Condo units in a greater range of residential and non-residential districts; Duplexes / 2-Family Units in residential and non-residential districts; 3-4 family attached housing units in Town Center and Mixed-Use districts. 	P&D		Article 2 & Sec 3.3.5	N/A	Completed Townhomes permitted in MU districts Subdivision regulations updated to address condo development in any district

Timeline: short 1 year or less, medium 2-5 years, long 5+ years

Status: started, delayed, complete, ongoing

4.10

Encourage the use of Low Impact Development (LID) practices through the site design process and improve energy efficiency in residential buildings.



Work Item	Lead	Partner(s), Internal or External	UDC Reference (if applicable)	Timeline (short, med, long)	Status
4.10.1 Provide guidance to property owners and developers describing BMPs for sustainable site design practices.	P&D			Short	Delayed
4.10.2 Encourage the design of energy efficient homes by offering incentives for the use of third-party rating systems such as LEED, Energy Efficient Home Design, and Zero Net Energy Homes.	P&D		Table 3.4-7 Table 3.4-10 Sec. 6.7	N/A	Completed Sustainability elements incorporated into UDC requirements for multi-family and non-residential development Additionally, UDC includes standards for alt. energy systems, small wind energy systems and rainwater harvesting

Timeline: short 1 year or less, medium 2-5 years, long 5+ years

Status: started, delayed, complete, ongoing

Housing and Neighborhood Goals & Strategies

GOAL HN-3:

Enhance Bee Cave's collective identity and cohesiveness so that separate homeowners' association and neighborhoods see themselves as integral parts of the City as a whole.

While the City is made up of separate residential subdivisions managed by HOA's, Bee Cave's relatively small population and scale should make it possible to maintain a small-town feel at the citywide scale rather than an emphasis on the identities of individual (often gated) subdivisions. The development of trails, public open space, recreation, future schools, community services, and other "community linkages" should be seen as citywide enhancements that can bring the various neighborhoods together, while improving Bee Cave and fostering a sense of connectedness.

- ▶ 4.11 Develop community-wide programs, projects, events and celebrations that boost civic pride and bring neighborhoods together to improve Bee Cave as a whole. (See also ECE 8.7).
- ▶ 4.12 Improve connectivity within and between neighborhoods through implementation of the Hike and Bike Connectivity Plan and the [Thoroughfare Plan](#). (See also FLU 1.8, M 2.7).
- ▶ 4.13 Promote the livability and image of Bee Cave through high quality design and the character of community facilities, neighborhood serving and regional retail, and employment areas. (See also CC 5.5).
- ▶ 4.14 Increase and enhance citywide parks, recreational facilities and activities, and community services to maintain a high quality and Level of Service as the residential population grows.



Planning and Zoning Commission Meeting
10/4/2022
Agenda Item Transmittal

Agenda Item: 7.

Agenda Title: Discuss progress on development of bylaws for the Planning & Zoning Commission.

Commission Action:

Department: Planning and Development

Staff Contact: E. Megan Will, Director of Planning & Development

1. INTRODUCTION/PURPOSE

Chair Crumbley will update the Commissioners

2. DESCRIPTION/JUSTIFICATION

a) Background

b) Issues and Analysis

3. FINANCIAL/BUDGET

Amount Requested
Cert. Obligation
Other source
Addtl tracking info

Fund/Account No.
GO Funds
Grant title

4. TIMELINE CONSIDERATIONS

5. RECOMMENDATION



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