



AGENDA

Regular Meeting

Planning and Zoning Commission

Tuesday, June 20, 2023

6:00 PM, City Hall

4000 Galleria Parkway

Bee Cave, Texas 78738-3104

A quorum of the Bee Cave City Council may be present.

THE CITY OF BEE CAVE COUNCIL MEETINGS ARE AVAILABLE TO ALL PERSONS REGARDLESS OF DISABILITY. IF YOU REQUIRE SPECIAL ASSISTANCE, PLEASE CONTACT KAYLYNN HOLLOWAY AT (512) 767-6641 AT LEAST 48 HOURS IN ADVANCE OF THE MEETING. THANK YOU.

1. Call meeting to order
2. Roll Call
3. Pledge of Allegiance
4. Acknowledgement of former Commissioners Dike and Scadden's service and welcome of new Commissioners DaSilva and Reynolds and Alternate Commissioner Mitchell
5. Consider approval of minutes of the regular meeting conducted on April 18, 2023
6. Discuss and consider action on a Site & NPS Plan Amendment for expansion of the Whole Foods located in the Hill Country Galleria at 12601 Hill Country Blvd., Bee Cave, TX
7. Agenda Planning
8. Adjournment

The Commission may go into closed session at any time when permitted by Chapters 418 or 551, Texas Government Code, or Section 321.3022 of the Texas Tax Code. Before going into closed session a quorum of the Commission must be present, the meeting must be convened as an open meeting pursuant to proper notice, and the

presiding officer must announce that a closed session will be held and must identify the sections of Chapter 551 or 418, Texas Government Code, or Section 321.3022 of the Texas Tax Code authorizing the closed session.

I certify that the above notice of meeting was posted at Bee Cave City Hall, 4000 Galleria Parkway, Bee Cave, Texas, on the 16th day of June 2023 at 11:30 AM.



***Planning and Zoning Commission Meeting
6/20/2023
Agenda Item Transmittal***

ATTACHMENTS:

Description	Type
<input type="checkbox"/> Minutes April 18, 2023	Backup Material

MINUTES OF THE MEETING OF THE
PLANNING AND ZONING COMMISSION
CITY OF BEE CAVE
4000 Galleria Parkway
Bee Cave, Texas 78738
April 18, 2023

STATE OF TEXAS §

COUNTY OF TRAVIS §

Present:

Kit Crumbley, Chair
Steven Schmidt, Vice Chair
Lori Wakefield, Commissioner
Eric McKee, Commissioner

Absent:

Jerry Dike, Commissioner
Rick Scadden, Commissioner
Kirk Wright, Commissioner

City Staff:

Megan Will, Director of Planning and Development
Kevin Sawtelle, City Engineer
Logan Maurer, Staff Engineer
Amanda Padilla, Senior City Planner
Sean Lapano, City Planner
Crystal Jaime, Administrative Coordinator
William Pitmon, Bee Cave Police

Call to Order and Announce a Quorum is Present

With a quorum present, the meeting of the Bee Cave Planning and Zoning Commission was called to order by Chair Crumbley at 6:00 p.m. on Tuesday April 18, 2023, in the Council Chambers of Bee Cave City Hall.

Minutes of February 21, 2023

MOTION: A motion was made by Chair Crumbley, seconded by Commissioner Wakefield, to recommend approval on the minutes of February 21, 2023.

The vote was taken on the motion with the following result:

Voting Aye: Chair Crumbley, Vice Chair Schmidt, Commissioners Wakefield, McKee

Voting Nay: None
Abstained: None
Absent: Commissioners Dike, Scadden, Wright

The motion carried.

Public hearing, discussion, and possible action on Ordinance No. 507 authorizing an amendment to Ordinance 454 a Conditional Use Permit for “Kennels” and “Veterinarian (Indoor Kennels)” located at 15839 West State Highway 71, Bee Cave, Texas.

Public Hearing opened at 6:05 pm

Public Hearing closed at 6:05 pm

MOTION: A motion was made by Vice Chair Schmidt, seconded by Commissioner Wakefield, to recommend approval on Ordinance No. 507 authorizing an amendment to Ordinance 454 a Conditional Use Permit for “Kennels” and “Veterinarian (Indoor Kennels)” located at 15839 West State Highway 71, Bee Cave, Texas.

The vote was taken on the motion with the following result:

Voting Aye: Chair Crumbley, Vice Chair Schmidt, Commissioners Wakefield, McKee
Voting Nay: None
Abstained: None
Absent: Commissioners Dike, Scadden, Wright

The motion carried.

Discuss and consider action on a Replat of Lot 12, Block H, Lake Pointe, Phase 1B, located at 3402 Santee Drive, Bee Cave, Texas.

MOTION: A motion was made by Chair Crumbley, seconded by Commissioner McKee, to recommend approval of the Replat Lot 12, Block H, Lake Pointe, Phase 1B, located at 3402 Santee Drive, Bee Cave, Texas.

The vote was taken on the motion with the following result:

Voting Aye: Chair Crumbley, Vice Chair Schmidt, Commissioners Wakefield, McKee
Voting Nay: None
Abstained: None
Absent: Commissioners Dike, Scadden, Wright

The motion carried.

Agenda Planning

MOTION: A motion was made by Vice Chair Schmidt, seconded by Commissioner McKee, to cancel the regular meeting for the Planning and Zoning Commission scheduled for May 02, 2023.

The vote was taken on the motion with the following result:

Voting Aye: Chair Crumbley, Vice Chair Schmidt, Commissioners Wakefield, McKee
Voting Nay: None
Abstained: None
Absent: Commissioners Dike, Scadden, Wright

The motion carried.

The Planning and Zoning Commission adjourned the meeting at 6:18 p.m.

PASSED AND APPROVED THIS _____ DAY OF _____, 2023.

Kit Crumbley, Chair

ATTEST

E. Megan Will



Planning and Zoning Commission Meeting

6/20/2023

Agenda Item Transmittal

Agenda Item: 5.

Agenda Title: Discuss and consider action on a Site & NPS Plan Amendment for expansion of the Whole Foods located in the Hill Country Galleria at 12601 Hill Country Blvd., Bee Cave, TX

Commission Action: Recommend to approve or deny

Department: Planning and Development

Staff Contact: Kevin Sawtelle, City Engineer

1. INTRODUCTION/PURPOSE

A proposed 3,838 square foot building expansion and associated site modifications to the Whole Foods within the Hill Country Galleria (HCG)

2. DESCRIPTION/JUSTIFICATION

a) Background

The improvements are proposed within Lot 1A, Block A of the Hill Country Galleria and the tract for this tract as established in Ordinance 141 is Town Center Planned Development District. The legal description of the project site is Lot 1A, Block A Hill Country Galleria Mall Subdivision a replat of Lot 1, Block A, Hill Country Galleria, a subdivision of record in Document No. 201400080 of the official public records of Travis County.

The existing Whole Foods building is approximately 39,215 square feet with a proposed expansion of 3,838 square feet for a gross square footage of approximately 43,050 square feet.

b) Issues and Analysis

The expansion will remove the sidewalk and 14 parking spaces on the south side of the existing building; however, the parking still complies with the overall parking agreement for the HCG PDD which does not have a minimum or maximum number of parking spaces required.

The proposed improvements result in a net decrease in overall impervious cover so no drainage or water quality improvements are required as part of this project outside of relocating a segment of existing 24-inch storm pipe on the south side of the building to allow for utility relocations consisting of waterline, wastewater line, and a grease interceptor vault which requires a partial public utility easement release.

The improvements will result in relocation of one existing tree and complete removal of another tree. Staff

does not recommend requiring relocation or replacement since this tree was required to meet parking shading requirements under the current condition. With these parking spaces being removed, the shading requirement that this particular tree met is not longer necessary.

Architectural plans were submitted and administratively approved by Staff as they comply with current City requirements and the requirements set forth in the HCG PDD zoning ordinance (06-08-22-A).

3. FINANCIAL/BUDGET

Amount Requested	Fund/Account No.
Cert. Obligation	GO Funds
Other source	Grant title
Addtl tracking info	

4. TIMELINE CONSIDERATIONS

5. RECOMMENDATION

Staff recommends approval with the following conditions:

1. Record the partial public utility easement vacation with Travis County associated with relocation of the wastewater line.
2. Provide the final Cover Sheet signed by all applicable agencies.

ATTACHMENTS:

Description	Type
<input type="checkbox"/> Site Plan Amendment Plans	Site Plan
<input type="checkbox"/> WF Building Expansion Exhibit	Exhibit

REVISIONS							
No.	DESCRIPTION	REVISE (R) DELETE (D) ADD (A)	TOTAL SHEETS IN PLAN	NET CHANGE IMPROV. COVER	SITE IMPROV. COVER	% IMP. COVER	APPROVAL DATE

DATE OF SUBMITTAL: 04/22/2023

OWNER AND DEVELOPER NAME AND ADDRESS

CSHV HCG RETAIL, LLC
12912 HILL COUNTRY BLVD.
SUITE T-100
BEE CAVE, TEXAS 78738

LEGAL DESCRIPTION

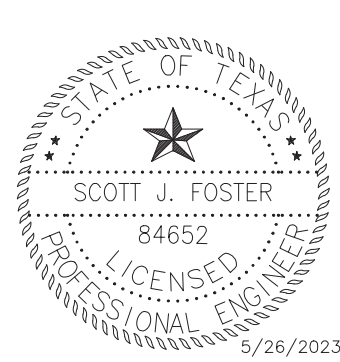
LOT 1A, BLOCK A HILL COUNTRY GALLERIA SUBDIVISION, A REPLAT OF LOT 1, BLOCK A, HILL COUNTRY GALLERIA, A SUBDIVISION OF RECORD IN DOCUMENT NO. 201400080 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

ZONING: "PDD-TC" PLANNED DEVELOPMENT DISTRICT-TOWN CENTER

WATERSHED: LITTLE BARTON CREEK/LAKE AUSTIN

ENGINEER'S CERTIFICATION:

I, THE UNDERSIGNED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT ALL REQUIRED DOCUMENTS ENCLOSED ARE ACCURATE AND COMPLETE AND THAT THE PROVISIONS CONTAINED ON THIS PLAN COMPLY WITH THE DEVELOPMENT ORDINANCE AND DRAINAGE POLICIES ADOPTED BY THE CITY OF BEE CAVE AND OTHER FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS IN EFFECT ON THIS DATE.



[Signature]

LICENSED PROFESSIONAL ENGINEER
REGISTRATION NO. 84652
360 PROFESSIONAL SERVICES, INC.
P.O. BOX 3639
CEDAR PARK, TEXAS 78630

GENERAL PLAN NOTES:

- NO PORTION OF THIS SITE IS LOCATED WITHIN THE 100-YEAR FLOOD PLAIN. FIRM PANEL NO. 48453C0415J, DATED JANUARY 22, 2020 FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.
- THIS PROJECT IS LOCATED WITHIN THE EDWARD'S AQUIFER CONTRIBUTING ZONE AND IS PERMITTED UNDER EAPP ID #11-13021802.

WEST TRAVIS COUNTY PUBLIC UTILITY AGENCY NOTES:

- WEST TRAVIS COUNTY PUBLIC UTILITY AGENCY IS THE WATER AND WASTEWATER PROVIDER.
- WTCPUA DOES NOT GUARANTEE FIRE FLOW.
- A WTCPUA REPRESENTATIVE MUST BE PRESENT AT TIME OF CONNECTION TO THE EXISTING SYSTEM.
- ALL WATER AND WASTEWATER INFRASTRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATION FOR WATER AND WASTEWATER CONSTRUCTION AND WITH MATERIALS FROM THE APPROVED CITY OF AUSTIN STANDARD PRODUCT LIST.
- WTCPUA 71 WATER SYSTEM GRID J-13, PRESSURE PLANE - 1080 HGL, WTCPUA WW SYSTEM GRID -D8

MATERIALS LIST FOR WTCPUA PUBLIC INFRASTRUCTURE		
DESCRIPTION	QTY	UNIT
UTILITY IMPROVEMENTS		
1 10" Gate Valve & Box (Restrained)	2	EA
2 10" Plugs on Existing Waterline	2	EA
ALL WATER AND WASTEWATER INFRASTRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATION FOR WATER AND WASTEWATER CONSTRUCTION AND WITH MATERIALS FROM THE APPROVED CITY OF AUSTIN STANDARD PRODUCT LIST		

PREPARED BY:

CIVIL ENGINEER:



PROFESSIONAL
SERVICES, INC.
TEXAS REGISTRATION F4932
P.O. BOX 3639
CEDAR PARK, TEXAS 78630
PHONE (512) 354-4682

ARCHITECT:

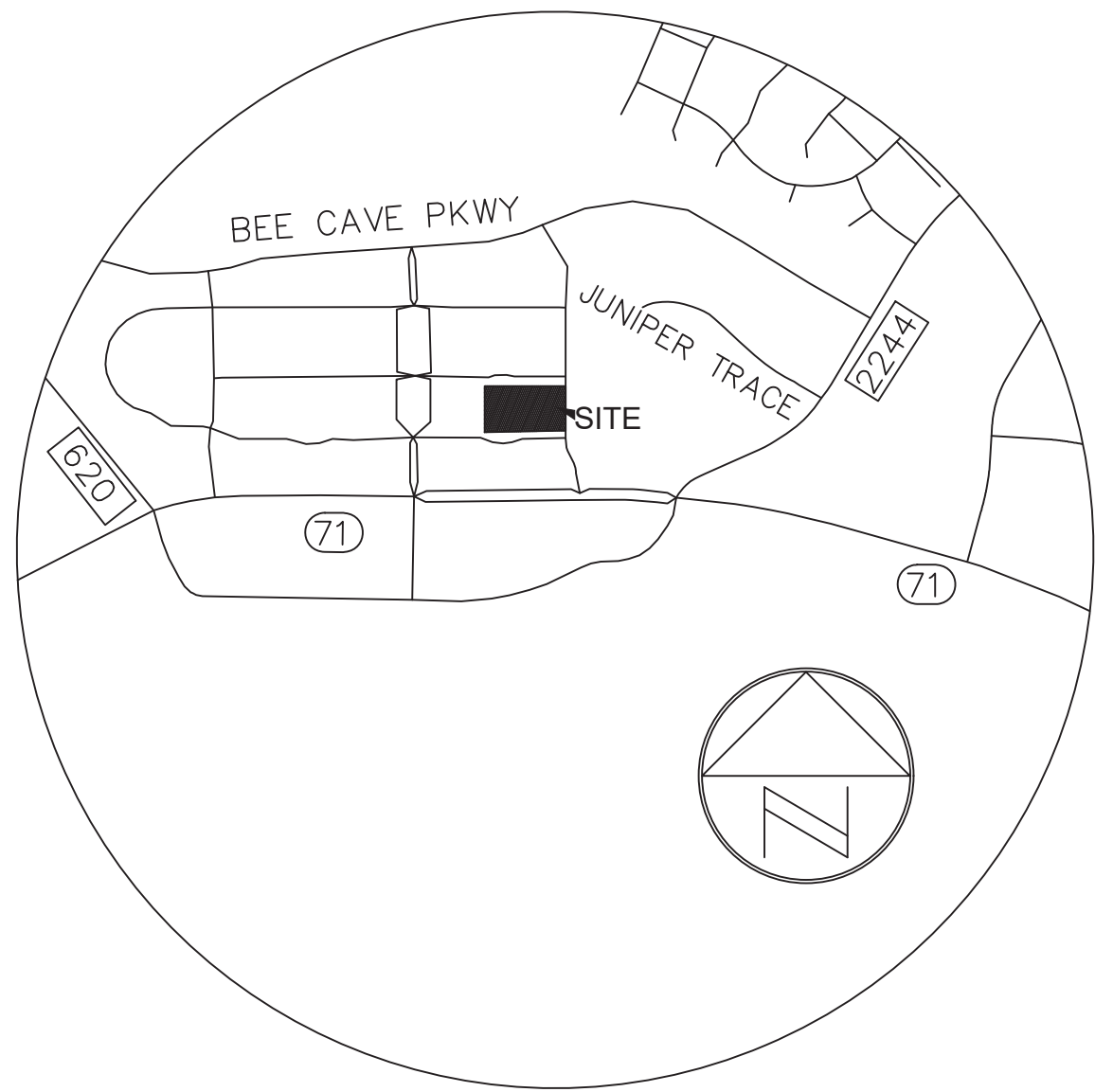
NELSON PARTNERS ARCHITECTS & PLANNERS
905 CONGRESS AVENUE
AUSTIN, TEXAS 78701
PHONE: (512) 457-8400
CONTACT: DENIM WEAVER

SURVEYOR:

EARLY LAND SURVEYING, LLC
P.O. BOX 92586
AUSTIN, TX 78709
PHONE (512) 202-8631
CONTACT: JOBY EARLY

SITE PLAN AMENDMENT FOR WHOLE FOODS EXPANSION HILL COUNTRY GALLERIA

12601 HILL COUNTRY BLVD. BEE CAVE, TEXAS



VICINITY MAP
N.T.S.

Sheet List Table	
Sheet Number	Sheet Title
01	COVER SHEET
02	FINAL PLAT
03	GENERAL NOTES
04	HILL COUNTRY GALLERIA OVERALL SITE PLAN
05	HILL COUNTRY GALLERIA OVERALL SITE PLAN CALCULATIONS
06	PROJECT SITE
07	EROSION CONTROL AND STAGING PLAN
08	DEMOLITION PLAN
09	PAVING, GRADING, AND STORM PLAN
10	UTILITY PLAN
11	OVERALL WATERLINE LAYOUT
12	CONSTRUCTION DETAILS SHEET 1
13	CONSTRUCTION DETAILS SHEET 2
14/A301	EXTERIOR ELEVATIONS - EXISTING
15/A302	EXTERIOR ELEVATIONS - PROPOSED

APRIL 22, 2023
OFFICIAL SUBMITTAL DATE

23-775-SAMN
CITY PERMIT NO.

APPROVED BY:

CITY OF BEE CAVE

DATE

TRAVIS COUNTY EMERGENCY SERVICES DISTRICT #6 - LAKE TRAVIS FIRE RESCUE

DATE

WEST TRAVIS COUNTY PUBLIC UTILITY AGENCY

DATE

APRIL 2023

[illegible]

**HILL COUNTRY GALLERIA MALL SUBDIVISION A
REPLAT OF LOT 1, BLOCK A, HILL COUNTRY GALLERIA
CITY OF BEE CAVE, TRAVIS COUNTY, TEXAS**

FEBRUARY 14

Delta Survey Group, Inc.
8213 Brodie Lane Ste. 102 Austin, TX 78745
Office: (512) 382-5200 Fax: (512) 382-5230
WWW.DELTASURVEYGROUP.COM
TBPLS Firm No. 10004700

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201400080

LINE AND CURVE TABLES

SHEET
6
OF
6

LINE	BEARING	DISTANCE	CURVE	RADIUS	ARC	CHORD	BEARING	DELTA
L-1	N10°29'59"E	10.00	CL	100.00	30.14	30.14	N10°29'59"E	0°00'00"
L-2	N10°29'59"E	40.00	CL	100.00	120.56	120.56	N10°29'59"E	0°00'00"
L-3	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-4	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-5	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-6	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-7	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-8	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-9	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-10	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-11	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-12	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-13	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-14	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-15	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-16	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-17	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-18	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-19	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-20	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-21	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-22	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-23	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-24	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-25	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-26	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-27	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-28	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-29	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-30	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-31	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-32	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-33	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-34	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-35	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-36	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-37	N10°29'59"E	100.00	CL	100.00	301.42	301.42	N10°29'59"E	0°00'00"
L-38	N10°29'59"E	100.00	CL	100.00				

02

FILE: C:\envite\Shared\Projects\Hill Country Galleria\Whole Foods\Cad\Sheets\02_FINAL_PLAT.dwg PLOT DATE: 4/4/2023 12:41pm PLOTTED BY: merced

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES WITH CONSTRUCTION PLANS FOUND IN THE FIELD SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.
2. THE CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SYSTEM AT 1-800-344-8377 FOR EXISTING UTILITY LOCATIONS 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES THAT ARE TO BE EXTENDED, TIED, CROSSED, OR ALTERED, OR SUBJECT TO DAMAGE/INCONVENIENCE BY THE CONSTRUCTION OPERATIONS.
3. CONTACT THE AUTHORITY HAVING JURISDICTION (WTCPUA/WO17) FOR EXISTING WATER AND WASTEWATER LOCATIONS 48 HOURS PRIOR TO CONSTRUCTION.
4. ANY CHANGES OR REVISIONS TO THESE PLANS MUST FIRST BE SUBMITTED TO THE CITY BY THE DESIGN ENGINEER FOR REVIEW AND WRITTEN APPROVAL PRIOR TO CONSTRUCTION OF THE REVISION. THE CITY ENGINEER MAY ALLOW FIELD ADJUSTMENTS WITHOUT FORMAL APPROVAL OF A CORRECTION, ON A CASE BY CASE BASIS, WITH THOSE CHANGES BE REFLECTED ON THE RECORD DRAWINGS.
5. A TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO ANY PARTIAL OR COMPLETE ROADWAY CLOSURE. CONTROL PLANS SHALL BE SITE SPECIFIC AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER. LANE CLOSURES ON ARTERIALS AND ANY FULL ROAD CLOSURES REQUIRE MESSAGE BOARDS NOTIFYING THE PUBLIC ONE WEEK PRIOR TO THE CLOSURE.
6. NO WORK IS TO BE PERFORMED BETWEEN THE HOURS OF 7:00 P.M. AND 7:00 A.M PER THE CITY'S NOISE ORDINANCE. REQUESTS FOR EXCEPTIONS TO THE NOISE ORDINANCE MUST BE MADE IN WRITING TO THE CITY MANAGER.
7. CONTACT THE CITY ENGINEERING STAFF (512-767-6675) AT LEAST 4 DAYS PRIOR TO WORK TO SCHEDULE ANY INSPECTIONS ON WEEKENDS OR CITY HOLIDAYS.
8. NO STREET LIGHTS OR SIGNS OF ANY KIND ARE TO BE PLACED WITHIN ANY SIDEWALKS.
9. NO BLASTING IS ALLOWED.
10. ANY EXISTING UTILITIES, PAVEMENT, CURBS, SIDEWALKS, STRUCTURES, TREES, ETC., THAT ARE DAMAGED OR REMOVED SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
11. THE CONTRACTOR SHALL GIVE THE CITY OF BEE CAVE 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION. CONTACT THE PLANNING & DEVELOPMENT DEPARTMENT AT 512-767-6675.
12. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE CONTRACTOR, DESIGN ENGINEER/PERMIT APPLICANT AND THE CITY OF BEE CAVE REPRESENTATIVES PRIOR TO INSTALLATION OF EROSION/SEDIMENTATION CONTROLS AND TREE PROTECTION MEASURES AND PRIOR TO BEGINNING ANY WORK. THE CONTRACTOR SHALL NOTIFY THE CITY OF BEE CAVE ENGINEERING STAFF AT LEAST THREE (3) DAYS PRIOR TO THE MEETING DATE FOR PROJECT IN THE EUL. THE PRE-CONSTRUCTION MEETING MUST BE SCHEDULED THROUGH TRAVIS COUNTY AND COORDINATED WITH THE CITY TO CONDUCT A SIMULTANEOUS CITY/COUNTY PRE-CONSTRUCTION MEETING. THE APPLICANT IS RESPONSIBLE FOR COORDINATING/SCHEDULING ATTENDANCE OF REPRESENTATIVES FROM THE UTILITY AND FIRE AUTHORITY HAVING JURISDICTION.
13. THE CONTRACTOR AND ENGINEER SHALL KEEP ACCURATE RECORDS OF ALL CONSTRUCTION THAT DEVIATES FROM THE PLANS. THE ENGINEER SHALL FURNISH THE CITY OF BEE CAVE AN ACCURATE RECORD DRAWING FOLLOWING THE COMPLETION OF ALL CONSTRUCTION. THESE "RECORD DRAWINGS" SHALL MEET THE SATISFACTION OF THE ENGINEERING DEPARTMENTS PRIOR TO FINAL ACCEPTANCE.
14. WHEN CONSTRUCTION IS BEING CARRIED OUT WITHIN EASEMENTS, THE CONTRACTOR SHALL CONFINE HIS WORK TO WITHIN THE PERMANENT AND TEMPORARY EASEMENTS. PRIOR TO ACCEPTANCE, THE CONTRACTOR SHALL LOCATE, PROTECT, AND MAINTAIN BENCHMARKS, MONUMENTS, CONTROL POINTS AND PROJECT ENGINEERING REFERENCE POINTS. RE-ESTABLISH DISTURBED OR DESTROYED ITEMS BY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, AT NO ADDITIONAL COST TO OWNER.
15. THE CONTRACTOR SHALL PROTECT ALL EXISTING FENCES. IN THE EVENT THAT A FENCE MUST BE REMOVED, THE CONTRACTOR SHALL REPLACE SAID FENCE OR PORTION THEREOF WITH THE SAME TYPE OF FENCING TO A QUALITY OF EQUAL OR BETTER THAN THE ORIGINAL FENCE.
16. ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). OSHA STANDARDS MAY BE PURCHASED FROM THE GOVERNMENT PRINTING OFFICE, INFORMATION AND RELATED REFERENCE MATERIALS MAY BE PURCHASED FROM OSHA, 1033 LA POSADA DR, SUITE 375, AUSTIN, TEXAS 78712-3852.
17. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL CITY OF AUSTIN DETAILS AND STANDARD SPECIFICATIONS IN ACCORDANCE WITH THE CITY OF BEE CAVE ENGINEERING TECHNICAL MANUAL.
18. PROJECT SPECIFICATIONS TAKE PRECEDENCE OVER PLANS AND SPECIAL CONDITIONS GOVERN OVER TECHNICAL SPECIFICATIONS.
19. HOT MIX ASPHALTIC CONCRETE PAVEMENT SHALL BE MINIMUM THICKNESS OF 2 INCHES WITH NO RECYCLED ASPHALT SHINGLES CONTENT.
20. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY RISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION BETWEEN HIMSELF AND OTHER CONTRACTORS AND UTILITIES IN THE VICINITY OF THE PROJECT. THIS INCLUDES GAS, WATER, WASTEWATER, ELECTRICAL, TELEPHONE, CABLE TV AND STREET DRAINAGE WORK. ONCE THE CONTRACTOR BECOMES AWARE OF A POSSIBLE CONFLICT, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER WITHIN TWENTY-FOUR (24) HOURS.
23. THE CONTRACTOR MUST OBTAIN A CONSTRUCTION WATER METER FOR ALL WATER USED DURING CONSTRUCTION. A COPY OF THIS PERMIT MUST BE OBTAINED AT ALL TIMES BY ALL WHO USE WATER. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING RODS AND DRIVES ADJACENT TO AND NEAR THE SITE FREE FROM SOIL, SEDIMENT AND DEBRIS. CONTRACTOR WILL NOT REMOVE SOIL, SEDIMENT OR DEBRIS FROM ANY VEHICLE OR EQUIPMENT BY MEANS OF A BROOM OR SWEEPING WILL BE ALLOWED. CONTRACTOR WILL BE RESPONSIBLE FOR DUST CONTROL FROM THE SITE.
24. THE CITY OF BEE CAVE SHALL NOT BE PETITIONED FOR ACCEPTANCE UNTIL ALL NECESSARY EASEMENT DOCUMENTS HAVE BEEN SIGNED AND RECORDED.
25. AN ENGINEER'S CONCURRENCE LETTER AND RECORD DRAWINGS SHALL BE SUBMITTED TO THE CITY ENGINEER PRIOR TO CONDUCTING THE FINAL CITY INSPECTION. THE ENGINEER AND CONTRACTOR SHALL VERIFY ALL PLANS, DETAILS AND STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT A DIGITAL COPY OF THE CITY SUBMITTAL RECORD CONSTRUCTION DRAWINGS, INCLUDING ROADWAY AND ALL UTILITIES SHALL BE PROVIDED TO THE CITY IN DIGITAL FORMAT AS AUTOCAD ".DWG" FILES, MICROSTATION ".DGN" FILES OR ERII ".SHP" FILES. LINE WEIGHTS, LINE TYPES SHALL BE SUCH THAT IF HALF-SIZE PRINTS (11"x17") WERE PRODUCED, THE PLANS WOULD STILL BE LEGIBLE. ALL REQUIRED DIGITAL FILES SHALL CONTAIN A MINIMUM OF TWO CONTROL POINTS REFERENCED TO THE STATE PLANE GRID COORDINATE SYSTEM. THE CITY OF BEE CAVE SHALL INCLUDE AND SHALL INCLUDE ROTATION INFORMATION AND SCALE FACTOR REQUIRED TO REDUCE SURFACE COORDINATES TO GRID COORDINATES IN US SURVEY FEET

STREET AND DRAINAGE NOTES

1. ALL SIDEWALKS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT. THE CITY OF BEE CAVE HAS NOT REVIEWED THESE PLANS FOR COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, OR ANY OTHER ACCESSIBILITY LEGISLATION, AND DOES NOT WARRANTY OR APPROVE THESE PLANS FOR ANY ACCESSIBILITY STANDARDS.
2. PRIOR TO ACCEPTANCE THE ENGINEER SHALL SUBMIT DOCUMENTATION THAT THE IMPROVEMENTS WERE INSPECTED BY TOLR OR A REGISTERED ACCESSIBILITY SPECIALIST (RAS) AND ARE IN COMPLIANCE WITH THE REQUIREMENTS OF THE TABA.
3. CONTRACTOR SHALL PROVIDE QUALITY TESTING FOR ALL INFRASTRUCTURES TO BE ACCEPTED AND MAINTAINED BY THE CITY OF BEE CAVE AFTER COMPLETION. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AT 512-767-6675 NO LESS THAN 48 HOURS PRIOR TO ANY TESTING.
4. BACKFILL BEHIND THE CURB SHALL BE COMPACTED TO OBTAIN A MINIMUM OF 95% MAXIMUM DENSITY TO WITHIN 6" OF TOP OF CURB. MATERIAL USED SHALL BE PRIMARILY GRANULAR.
5. WITH NO ROCKS LARGER THAN 6 INCHES IN SIZE. IN THE GREATEST DIMENSION 6" SHALL BE CLEAN TOPSOIL FREE FROM ALL CLODS AND SUITABLE FOR SUSTAINING PLANT LIFE.
6. A MINIMUM OF 6" OF TOPSOIL SHALL BE PLACED BETWEEN THE CURB AND RIGHT-OF-WAY AND IN ALL DRAINAGE CHANNELS CUT IN STABLE ROCK.
7. DEPTH OF COVER FOR ALL CROSSINGS UNDER PAVEMENT, INCLUDING GAS, ELECTRIC TELEPHONE, CABLE TV, ETC., SHALL BE A MINIMUM OF 36" BELOW SUBGRADE.
8. STREET RIGHT-OF-WAY SHALL BE GRADED AT A SLOPE OF ¼" PER FOOT TOWARD THE CURB UNLESS OTHERWISE INDICATED. HOWEVER, IN NO CASE SHALL THE WIDTH OF RIGHT-OF-WAY AT ¼" PER FOOT SLOPE BE LESS THAN 10 FEET UNLESS A SPECIFIC REQUEST FOR AN ALTERNATE GRADING SCHEME IS MADE TO AND ACCEPTED BY THE CITY OF BEE CAVE ENGINEERING STAFF.
9. BARRICADES BUILT TO THE CITY OF BEE CAVE STANDARDS SHALL BE ERECTED ON ALL DEAD-END STREETS AND AS NECESSARY DURING CONSTRUCTION TO MAINTAIN JOB AND PUBLIC SAFETY.
10. ALL REINFORCED CONCRETE PIPE SHALL BE MINIMUM CLASS III OF TONGUE AND GROOVE OR O-RING JOINT DESIGN.
11. THE CONTRACTOR IS TO NOTIFY THE ENGINEERING STAFF 48 HOURS PRIOR TO THE FOLLOWING TESTING: PROOF ROLLING SUB-GRADE AND EVERY LIFT OF ROADWAY EMBANKMENT, IN-PLACE DENSITY TESTING OF EVERY BASE COURSE, AND ASPHALT CORES. ALL OF THIS TESTING MUST BE WITNESSED BY A CITY OF BEE CAVE REPRESENTATIVE UNLESS OTHERWISE INSTRUCTED BY THE CITY ENGINEER.
12. THE CONTRACTOR MUST PROVIDE A PNEUMATIC TRUCK PER TROT SPEC FOR PROOF ROLLING.
13. ALL STRIPING, WITH THE EXCEPTION OF STOP BARS, CROSS WALKS, WORDS AND ARROWS, IS TO BE TYPE II (WATER BASED). STOP BARS, CROSS WALKS, WORDS AND ARROWS REQUIRE TYPE I THERMOPLASTIC.
14. MANHOLE FRAMES, COVERS, VALVES, CLEAN-OUTS, ETC. SHALL BE RAISED TO GRADE PRIOR TO FINAL PAVEMENT CONSTRUCTION.
15. CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AT LEAST 48 HOURS PRIOR TO THE INSTALLATION OF ANY DRAINAGE FACILITY WITHIN A DRAINAGE EASEMENT OR STREET ROW.
16. A STOP BAR SHALL BE PLACED AT ALL STOP SIGN LOCATIONS.
17. A MINIMUM OF SEVEN DAYS OF CURE TIME IS REQUIRED FOR HMAc PRIOR TO THE INTRODUCTION OF PUBLIC VEHICULAR TRAFFIC TO ANY STREETS.
18. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE SUBGRADE FOR COMPLIANCE WITH THE DESIGN ASSUMPTIONS MADE DURING PREPARATION OF THE SOILS REPORT. ANY ADJUSTMENTS THAT ARE REQUIRED SHALL BE MADE THROUGH REVISIONS OF THE CONSTRUCTION PLANS.
19. GEOTECHNICAL INVESTIGATION INFORMATION AND PAVEMENT RECOMMENDATIONS WERE PROVIDED BY ____ PAVEMENT RECOMMENDATIONS ARE AS FOLLOWS:____

TRENCH SAFETY NOTES

1. TRENCH SAFETY SYSTEMS TO BE UTILIZED FOR THIS PROJECT ARE DESCRIBED IN ITEM 509S "TRENCH SAFETY SYSTEMS" OF THE CITY OF AUSTIN STANDARD SPECIFICATIONS AND SHALL BE IN ACCORDANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE U.S. OCCUPATION SAFETY AND HEALTH ADMINISTRATION REGULATIONS.

GRADING NOTES

1. POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER.
2. THE CONTRACTOR SHALL MAINTAIN EMBANKMENTS WITH SLOPES NO STEEPER THAN 3:1 AND COMPACT SOIL TO 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH THE CITY OF AUSTIN STANDARD SPECIFICATIONS.
3. AREAS OF SOIL DISTURBANCE ARE LIMITED TO GRADING AND IMPROVEMENTS SHOWN. ALL OTHER AREAS WILL NOT BE DISTURBED.

BENCHMARK NOTES

1. [Provide Location Description]
- 2.

PRELIMINARY SEQUENCE OF CONSTRUCTION:

1. INSTALL CONSTRUCTION FENCING, STABILIZED CONSTRUCTION ENTRANCE, EROSION CONTROLS AND TREE PROTECTION FENCING PER APPROVED EROSION AND SEDIMENTATION CONTROL/TREE PROTECTION PLAN.
2. THE CONTRACTOR SHALL ARRANGE AND COORDINATE ACCEPTABLE MEETING TIMES FOR AN ON-SITE PRE-CONSTRUCTION MEETING WITH THE OWNER, PROJECT ENGINEER, RELEVANT CONTRACTORS, RELEVANT UTILITY REPRESENTATIVES, AND THE CITY ENGINEER/INSPECTOR. THE CONTRACTOR SHALL MAINTAIN ADEQUATE TRAFFIC FLOW DURING CONSTRUCTION AND SHALL NOT NEGATIVELY AFFECT TRAFFIC WITHIN THE HILL COUNTRY GALLERIA.
4. BEGIN SITE CLEARING/DEMOLITION.
5. ROUGH GRADE SITE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS.
6. INSTALL UTILITY AND STORM IMPROVEMENTS.
7. CONSTRUCT BUILDING FOUNDATIONS, IF REQUIRED.
8. COMPLETE GRADING, DRAINAGE AND PAVING.
9. CONSTRUCT BUILDING.
10. HYDROMULCH OR SOD ALL DISTURBED AREAS PER LANDSCAPE PLAN AND CLEAN UP SITE.
11. FINAL CLEARING OF EROSION AND SEDIMENTATION CONTROLS AND STORM DRAIN STRUCTURES.
12. PROJECT ENGINEER INSPECTS JOB AND SUBMITS THE ENGINEER'S CONCURRENCE LETTER.
13. CITY VISITS SITE AND ISSUES CERTIFICATE OF ACCEPTANCE ONLY IF ALL CONSTRUCTION IS IN SUBSTANTIAL CONFORMANCE TO THE PLANS.

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY CONTRIBUTING ZONE PLAN GENERAL CONSTRUCTION NOTES (REV. JULY 15, 2015)

1. A WRITTEN NOTICE OF CONSTRUCTION MUST BE SUBMITTED TO THE TCEQ REGIONAL OFFICE AT LEAST 48 HOURS PRIOR TO THE START OF ANY GROUND DISTURBANCE OR CONSTRUCTION ACTIVITIES. THIS NOTICE MUST INCLUDE: - THE NAME OF THE APPROVED PROJECT, - THE ACTIVITY START DATE, AND - THE CONTACT INFORMATION OF THE PRIME CONTRACTOR.
2. ALL CONTRACTORS CONDUCTING REGULATED ACTIVITIES ASSOCIATED WITH THIS PROJECT SHOULD BE PROVIDED WITH COMPLETE COPIES OF THE APPROVED CONTRIBUTING ZONE PLAN (CZP) AND THE TCEQ LETTER INDICATING THE SPECIFIC CONDITIONS OF ITS APPROVAL. DURING THE COURSE OF THESE REGULATED ACTIVITIES, THE CONTRACTOR(S) SHOULD KEEP COPIES OF THE APPROVED PLAN AND APPROVAL LETTER ON-SITE.
3. NO HAZARDOUS SUBSTANCE STORAGE TANK SHALL BE INSTALLED WITHIN 150 FEET OF A WATER SUPPLY SOURCE, DISTRIBUTION SYSTEM, WELL, OR SENSITIVE FEATURE.
4. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY, ALL TEMPORARY EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES MUST BE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. IF INSPECTIONS INDICATE A CONTROL HAS BEEN USED INAPPROPRIATELY, OR INCORRECTLY, THE APPLICANT MUST REPLACE OR MODIFY THE CONTROL FOR SITE SITUATIONS. THESE CONTROLS MUST REMAIN IN PLACE UNTIL THE DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
5. ANY SEDIMENT THAT ESCAPES THE CONSTRUCTION SITE MUST BE COLLECTED AND PROPERLY DISPOSED OF BEFORE THE NEXT RAIN EVENT TO ENSURE IT IS NOT WASHED INTO SURFACE STREAMS, SENSITIVE FEATURES, ETC.
6. SEDIMENT MUST BE REMOVED FROM THE SEDIMENT TRAPS OR SEDIMENTATION BASINS WHEN IT COMPOSES 50% OF THE BASIN'S DESIGN CAPACITY.
7. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PREVENTED FROM BEING DISCHARGED OFFSITE.
8. ALL EXCAVATED MATERIAL THAT WILL BE STORED ON-SITE MUST HAVE PROPER E&S CONTROLS.
9. IF PORTIONS OF THE SITE WILL HAVE A CEASE IN CONSTRUCTION ACTIVITY LASTING LONGER THAN 14 DAYS, SOIL STABILIZATION IN THOSE AREAS SHALL BE INITIATED AS SOON AS POSSIBLE PRIOR TO THE 14TH DAY OF INACTIVITY. IF ACTIVITY WILL RESUME PRIOR TO THE 21ST DAY, STABILIZATION MEASURES ARE NOT REQUIRED. IF DROUGHT CONDITIONS OR INCLEMENT WEATHER PREVENT ACTION BY THE 14TH DAY, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE.
10. THE FOLLOWING RECORDS SHOULD BE MAINTAINED AND MADE AVAILABLE TO THE TCEQ UPON REQUEST: - THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; - THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; AND - THE DATES WHEN STABILIZATION MEASURES ARE INITIATED.
11. THE HOLDER OF ANY APPROVED CZP MUST NOTIFY THE APPROPRIATE REGIONAL OFFICE IN WRITING AND OBTAIN APPROVAL FROM THE EXECUTIVE DIRECTOR PRIOR TO INITIATING ANY OF THE FOLLOWING:
 - A. ANY PHYSICAL OR OPERATIONAL MODIFICATION OF ANY BEST MANAGEMENT PRACTICES (BMPs) OR STRUCTURE(S), INCLUDING BUT NOT LIMITED TO TEMPORARY OR PERMANENT PONDS, DAMS, BERMES, SILT FENCES, AND DIVERSIONARY STRUCTURES;
 - B. ANY CHANGE IN THE NATURE OR CHARACTER OF THE REGULATED ACTIVITY FROM THAT WHICH WAS ORIGINALLY APPROVED;
 - C. ANY CHANGE THAT WOULD SIGNIFICANTLY IMPACT THE ABILITY TO PREVENT POLLUTION OF THE EDWARDS AQUIFER; OR
 - D. ANY DEVELOPMENT OF LAND PREVIOUSLY IDENTIFIED AS UNDEVELOPED IN THE APPROVED CONTRIBUTING ZONE PLAN.

AUSTIN REGIONAL OFFICE
12100 PARK 35 CIRCLE, BUILDING A
AUSTIN, TEXAS 78753-1808
PHONE (512) 339-2929
FAX (512) 339-3795

SAN ANTONIO REGIONAL OFFICE
14250 JUDSON ROAD
SAN ANTONIO, TEXAS 78233-4480
PHONE (210) 490-3096
FAX (210) 545-4329

AMERICANS WITH DISABILITIES ACT

THE DESIGN ENGINEER IS RESPONSIBLE FOR SUBMITTING THE DRAWINGS TO THE ARCHITECTURAL BARRIERS DIVISION OF THE TEXAS DEPT. OF LICENSING AND REGULATION FOR REVIEW AND APPROVAL OF THE PLANS IN ACCORDANCE WITH THE ARCHITECTURAL BARRIERS ACT. THE ENGINEER IS RELIEVED OF THE SUBMITTAL RESPONSIBILITY IF A REGISTERED ARCHITECT HANDLES THE SUBMITTAL; HOWEVER, THE GRADING AND SITE PLAN MUST COMPLY WITH THE REFERENCED ACT, WHICH IS THE ENGINEER'S RESPONSIBILITY.

TRAVIS COUNTY EMERGENCY SERVICES DISTRICT NO. 6 FIRE DEPARTMENT SITE PLAN NOTES:

1. DESIGNS FOR SITE IMPROVEMENTS SHALL MEET THE CURRENT DESIGN CRITERIA AS REQUIRED BY TCESD NO. 6.
2. ALL PLANS (SITE, BUILDING, FIRE ALARM, FIRE SPRINKLER) SHALL BE SUBMITTED TO LTFR FOR REVIEW. TWO FULL-SIZE SETS ARE REQUIRED. A REVIEW LETTER WILL BE GENERATED. REVIEWS WILL NOT BE PERFORMED UNTIL THE APPLICABLE REVIEW FEES ARE PAID.
3. UPON PLAN APPROVAL, A PERMIT WILL BE ISSUED. THE PERMIT MUST BE CONSPICUOUSLY POSTED.
4. AN ALL-WEATHER DRIVING SURFACE (FIRE APPARATUS AIS) MUST BE INSTALLED IN LOCATIONS SHOWN ON THE SITE PLAN, PRIOR TO ANY BUILDING CONSTRUCTION BEYOND THE FOUNDATION.
5. ALL PERVIOUS/DECORATIVE PAVING SHALL BE ENGINEERED AND INSTALLED FOR 80,000 POUNDS LIVE-VEHICLE ANY PERVIOUS/DECORATIVE PAVING WITHIN 100 FEET OF ANY BUILDING MUST BE APPROVED BY THE FIRE DEPARTMENT.
6. VERTICAL CLEARANCE REQUIRED FOR FIRE APPARATUS IS 13 FEET, SIX INCHES FOR THE FULL 25 FEET WIDTH OF ACCESS DRIVES AND ROUTES FOR INTERNAL CIRCULATION. DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH APPROVED PROVISIONS FOR THE TURNING AROUND OF FIRE APPARATUS, PER FIGURE B-4 OF THIS MANUAL.
7. THE MAXIMUM ALLOWABLE DRIVEWAY, DRIVE AISLE OR FIRE LANE CAPACITY IS 15 PERCENT.
8. THE MARKINGS OF FIRE LANES MUST BE RED WITH WHITE STENCILING OR WHITE WITH RED STENCILING READING "FIRE LANE - TOW AHEAD ZONE" IN LETTERING NO LESS THAN THREE INCHES IN HEIGHT. THE STENCILING SHALL BE AT INTERVALS OF 35 FEET OR LESS. ALTERNATIVE MARKING OF FIRE LANES MAY BE APPROVED BY THE FIRE CHIEF, OR HIS/HER DESIGNATED AGENT, PROVIDED FIRE LANES ARE CLEARLY IDENTIFIED AT BOTH ENDS AND AT INTERVALS NOT TO EXCEED 35 FEET. EXISTING FIRE LANE MARKINGS SHALL BE GRANDFATHERED PROVIDED THAT THEY MEET THE WORKING AND INTERVAL REQUIREMENTS THAT WERE ACCEPTED ON APPROVED SITE PLANS AND OTHER TYPE FIRE LANE SUBMITTALS APPROVED BY THE FIRE DEPARTMENT. EXISTING FIRE LANES THAT ARE IN NEED OF RE-PAINTING SHALL MEET THE REQUIREMENTS OF THIS SECTION.
9. THE FIRE DEPARTMENT CONNECTION (FDC) CONNECTION SHALL BE INSTALLED WHERE SHOWN ON THE SITE PLAN.
10. HYDRANTS MUST BE INSTALLED WITH THE CENTER OF THE FOUR AND ONE-HALF INCH STEAMER OPENING AT LEAST 18 INCHES ABOVE FINISHED GRADE. THE FOUR AND ONE-HALF INCH STEAMER OPENING MUST FACE THE DRIVEWAY OR STREET WITH THREE- TO SIX-FOOT SETBACKS FROM THE CURB LINE(S). NO OBSTRUCTION IS ALLOWED WITHIN THREE FEET OF ANY HYDRANT, AND THE FOUR AND ONE-HALF INCH OPENING MUST BE TOTALLY UNOBSTRUCTED FROM THE STREET/DRIVEWAY.
11. CONTRACTOR SHALL INSTALL BLUE REFLECTIVE MARKERS IN THE PAVEMENT PER TCESD NO. 6 SPECIFICATIONS. NO IMPROVEMENTS MAY BE OCCUPIED UNTIL THE MARKERS ARE INSTALLED.
12. FIRE HYDRANTS SHALL HAVE NATIONAL PIPE THREADS.
13. STATIC WATER TANK HARD SUCTION CONNECTOR SHALL HAVE SIX-INCH NATIONAL HOSE THREADS.
14. A CERTIFIED OR WITNESSED PRESSURE TEST IS REQUIRED FOR ALL WATER MODELS, REQUIRED HYDRANT FLOW TESTS OR SPRINKLER SYSTEM DESIGNS.
15. HYDRANTS SHALL BE PAINTED SILVER AND THE BONNET AND CAPS SHALL BE PAINTED THE DESIGNATED COLOR PER THE GALLONS PER MINUTE (GPM) AS FOLLOWS:

CLASS AA	LIGHT BLUE	1500 or HIGHER GPM
CLASS A	GREEN	1000-1499 GPM
CLASS B	ORANGE	500-1499 GPM
CLASS C	RED	LESS THAN 500 GPM
CLASS D	BLACK	OUT OF SERVICE
16. COMMERCIAL DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF ONE AND ONE HALF CUBIC YARDS OR GREATER SHALL NOT BE STORED OR PLACED WITHIN 10 FEET OF OPENINGS, COMBUSTIBLE WALLS OR COMBUSTIBLE EAVE LINES.
17. "KEY BOXES"/"KEY SWITCHES" (KNOX-BOX® RAPID ENTRY SYSTEM) SHALL BE INSTALLED IN THE LOCATION(S) SHOWN ON THE SITE/BUILDING PLANS AS APPROVED BY TCESD NO. 6. CONTACT LTFR FOR ORDERING INFORMATION. NO IMPROVEMENTS MAY BE OCCUPIED UNTIL THE KEY BOX/KEY SWITCH IS INSTALLED.

AUSTIN ENERGY NOTES:

1. AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS ON THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR. AUSTIN ENERGY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-8, SUBCHAPTER B OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
2. THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE AUSTIN ENERGY WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND Ongoing MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICE TO THE BUILDING AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OF COMPLIANCE WITH CHAPTER 25-8 OF THE CITY OF AUSTIN LDC.
3. THE OWNER SHALL BE RESPONSIBLE FOR ANY INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. AUSTIN ENERGY WORK SHALL ALSO BE INCLUDED WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.
4. THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF BEE CAVE REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCE WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCE WILL BE CHARGED TO THE OWNER.
5. ANY RELOCATION OF ELECTRIC FACILITIES SHALL BE AT OWNER'S EXPENSE.

WEST TRAVIS COUNTY PUBLIC UTILITY AGENCY (WTCPUA) NOTES:
HOURS OF CONSTRUCTION

1. NO WORK SHALL BE DONE BETWEEN THE HOURS OF 8:00 P.M. AND 6:00 A.M.; NOR ON SUNDAYS OR LEGAL HOLIDAYS WITHOUT THE WRITTEN PERMISSION OF THE WTCPUA IN EACH CASE. EXCEPT SUCH WORK AS MAY BE NECESSARY FOR THE PROPER CARE, MAINTENANCE AND PROTECTION OF THE WORK ALREADY DONE OR IN THE CASE OF AN EMERGENCY.

LIMITS OF CONSTRUCTION

1. THE LIMITS OF CONSTRUCTION SHALL BE BOUNDED BY THE RIGHT OF WAY LINE OR PERMANENT/ TEMPORARY EASEMENT LIMITS SHOWN ON THE PLANS. LIMITS OF CONSTRUCTION MAY BE FURTHER RESTRICTED BY PLACEMENT OF SILT FENCE, TREE PROTECTION FENCING, OR OTHER APPURTENANCES AS SHOWN ON THE PLANS.
2. LIMITS OF CONSTRUCTION SHALL BE CLEARLY DELINEATED BY THE CONTRACTOR BY INSTALLING SILT FENCE, ORANGE TENSAR FENCING (4" FOOT ROLL TIED TO 6 FOOT POSTS SET AT 10 FOOT INTERVALS) OR OTHER BARRIERS AS APPROVED BY THE ENGINEER. ALL TEMPORARY BARRIERS SHALL BE REMOVED AT THE END OF THE PROJECT.
3. ANY AREAS OUTSIDE THE LIMITS OF CONSTRUCTION DISTURBED BY THE CONTRACTOR SHALL IMMEDIATELY BE RESTORED TO PRECONSTRUCTION CONDITION.

SANITARY FACILITIES

1. PROVISIONS SHALL BE MADE FOR NECESSARY SANITARY CONVENIENCES FOR THE USE OF LABORERS ON THE PROJECT. THE FACILITY SHALL BE PROPERLY SECLUDED FROM PUBLIC OBSERVATION AND SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR.

PROTECTION OF BORE PITS

1. INSTALL BARRIER FENCING (TENSAR ORANGE FENCING OR CHAIN LINK FENCING) TO COMPLETELY SURROUND BORE PITS. BARRIER FENCING SHALL REMAIN IN PLACE AT ALL TIMES THE BORE PIT IS OPEN. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY AND SAFETY AT BORE PITS AT ALL TIMES.

HORIZONTAL CONTROLS

1. ALL LINEWORK SHALL BE STAKED PRIOR TO CONSTRUCTION WITH SEALED CUT SHEETS PROVIDED TO THE WTCPUA INSPECTOR PRIOR TO CONSTRUCTION.

TCEQ WATER NOTES

1. ALL NEWLY INSTALLED PIPES AND RELATED PRODUCTS MUST CONFORM TO AMERICAN NATIONAL STANDARDS INSTITUTE/NATIONAL SANITATION FOUNDATION (ANSI/NSF) STANDARD 61 AND MUST BE CERTIFIED BY AN ORGANIZATION ACCREDITED ANSI.
2. ALL PLASTIC PIPE FOR USE IN PUBLIC WATER SYSTEMS MUST ALSO BEAR THE NATIONAL SANITATION FOUNDATION SEAL OF APPROVAL (NSF-PW) AND HAVE AN ASTM DESIGN PRESSURE RATING OF AT LEAST 150 PSI OR A STANDARD DIMENSION RATIO OF 26 OR LESS.
3. NO PIPE WHICH HAS BEEN USED FOR ANY PURPOSE OTHER THAN CONVEYANCE OF DRINKING WATER SHALL BE ACCEPTED OR RELOCATED FOR USE IN ANY PUBLIC DRINKING WATER SUPPLY.
4. WATER TRANSMISSION AND DISTRIBUTION LINES MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. HOWEVER THE TOP OF THE WATER LINE MUST BE LOCATED BELOW THE FROST LINE AND IN NO CASE SHALL THE TOP OF THE WATER LINE BE LESS THAN 24 INCHES BELOW GROUND SURFACE.
5. THE HYDROSTATIC LEAKAGE RATE SHALL NOT EXCEED THE AMOUNT ALLOWED OR RECOMMENDED BY AWWA FORMULAS.
6. ALL WATER LINES SHALL BE HYDROSTATIC LEAK TESTED IN CONFORMANCE WITH AWWA C600 FOR DUCTILE IRON PIPE AND AWWA C605 FOR PVC PIPE.
7. ALL WATER LINES SHALL BE DISINFECTED IN CONFORMANCE WITH AWWA C651.

TCEQ WATER/WASTEWATER LINE SEPARATION NOTES:

1. NEW WATERLINE INSTALLATION - PARALLEL LINES:
WHEN NEW POTABLE WATER DISTRIBUTION LINES ARE CONSTRUCTED, THEY SHALL BE INSTALLED NO CLOSER THAN NINE FEET IN ALL DIRECTIONS TO WASTEWATER COLLECTION FACILITIES. ALL SEPARATION DISTANCES SHALL BE MEASURED FROM THE OUTSIDE SURFACE OF EACH OF THE RESPECTIVE PIECES.

2. NEW WATERLINE INSTALLATION - CROSSING LINES:
WHERE A NEW POTABLE WATERLINE CROSSES AN EXISTING, NON-PRESSURE RATED WASTEWATER MAIN OR LATERAL, ONE SEGMENT OF THE WATERLINE PIPE SHALL BE CENTERED OVER THE WASTEWATER MAIN OR LATERAL SUCH THAT THE JOINTS OF THE WATERLINE PIPE ARE EQUIDISTANT AND AT LEAST NINE FEET HORIZONTALLY FROM THE CENTERLINE OF THE WASTEWATER MAIN OR LATERAL. THE POTABLE WATERLINE SHALL BE AT LEAST TWO FEET ABOVE THE WASTEWATER MAIN OR LATERAL. WHENEVER POSSIBLE, THE CROSSING SHALL BE CENTERED BETWEEN THE JOINTS OF THE WASTEWATER MAIN OR LATERAL. IF THE EXISTING WASTEWATER MAIN OR LATERAL IS DISPERSED OR SHOWS SIGNS OF LEAKING, IT SHALL BE REPLACED FOR AT LEAST NINE FEET IN BOTH DIRECTIONS (18 FEET TOTAL) WITH AT LEAST 150 PSI PRESSURE RATED PIPE.

- WHERE A NEW POTABLE WATERLINE CROSSES AN EXISTING, PRESSURE RATED WASTEWATER MAIN OR LATERAL, ONE SEGMENT OF THE WATERLINE PIPE SHALL BE CENTERED OVER THE WASTEWATER MAIN OR LATERAL SUCH THAT THE JOINTS OF THE WATERLINE PIPE ARE EQUIDISTANT AND AT LEAST NINE FEET HORIZONTALLY FROM THE CENTERLINE OF THE WASTEWATER MAIN OR LATERAL. THE POTABLE WATERLINE SHALL BE AT LEAST SIX INCHES ABOVE THE WASTEWATER MAIN OR LATERAL. WHENEVER POSSIBLE, THE CROSSING SHALL BE CENTERED BETWEEN THE JOINTS OF THE WASTEWATER MAIN OR LATERAL. IF THE EXISTING WASTEWATER MAIN OR LATERAL SHOWS SIGNS OF LEAKING, IT SHALL BE REPLACED FOR AT LEAST NINE FEET IN BOTH DIRECTIONS (18 FEET TOTAL) WITH AT LEAST 150 PSI PRESSURE RATED PIPE.

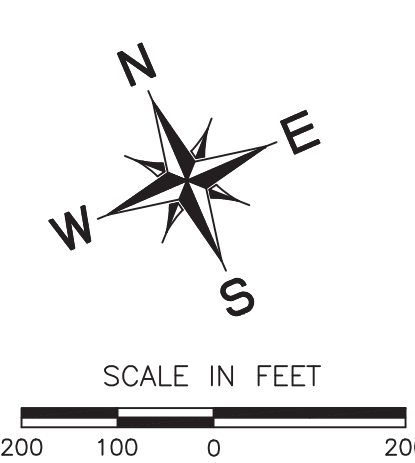
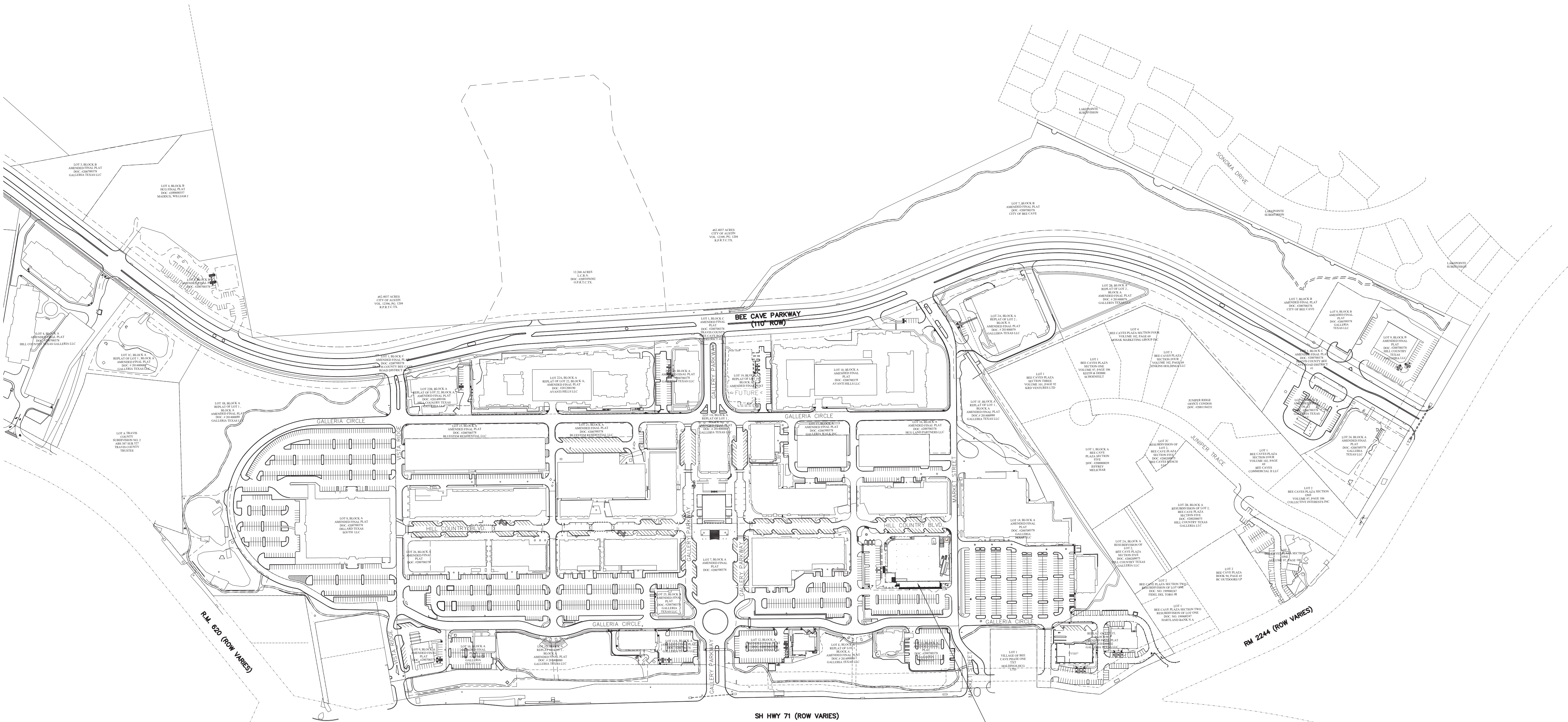
WTCPUA WATER & WASTEWATER GENERAL CONSTRUCTION NOTES

1. ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE STATE STATUTES AND U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS (O.S.H.A.). COPIES OF O.S.H.A. STANDARDS MAY BE PURCHASED FROM THE U.S. GOVERNMENT PRINTING OFFICE, INFORMATION AND RELATED REFERENCE MATERIALS MAY BE OBTAINED FROM O.S.H.A., 611 EAST 6TH STREET, ROOM 303, AUSTIN, TEXAS 78701.
2. THE ATTENTION OF THE CONTRACTOR IS DIRECTED TO THE CITY OF AUSTIN STANDARD SPECIFICATIONS AND TO THE STATE LAW, (VERNON'S ANNOTATED TEXAS STATUTES, ARTICLE 1436 (c)) AND THE NEED FOR EFFECTIVE PRECAUTIONARY MEASURES WHEN OPERATING IN THE VICINITY OF ELECTRICAL LINES. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY REQUIREMENTS, AND FOR COORDINATION OF ALL WORK WITH THE APPROPRIATE ELECTRIC UTILITY COMPANY.
3. THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM AT 1-800-344-8377 FOR EXISTING UTILITY LOCATIONS PRIOR TO ANY EXCAVATION. THE LOCATION AND TYPE OF UTILITIES AND UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE CONTRACTOR SHALL VERIFY ALL DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING UTILITIES. IN ADDITIONAL TO NORMAL PRECAUTIONS WHEN EXCAVATING, USE EXTRA CAUTION WHEN EXCAVATING WITHIN 25 FEET OF ANY UTILITIES SHOWN ON THE PLANS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION BETWEEN HIMSELF AND OTHER CONTRACTORS AND UTILITIES IN THE VICINITY OF THE PROJECT. THIS INCLUDES ALL WATER, WASTEWATER, GAS, ELECTRICAL, TELEPHONE, CABLE TELEVISION, AND STREET AND DRAINAGE WORK. ONCE THE CONTRACTOR BECOMES AWARE OF A POSSIBLE CONFLICT, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER WITHIN TWENTY-FOUR (24) HOURS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL SPOILS MATERIAL FROM THE CONSTRUCTION SITE. ALL SPOILS MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR AT AN APPROVED SPOIL SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SECURING A PERMIT FOR THE SITE, SHALL NOTIFY THE WTCPUA INSPECTOR AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO DISPOSAL OF THE MATERIAL. NO SPOILS ARE TO REMAIN OVERNIGHT IN THE FLOODPLAIN.
6. NO BLASTING OR BURNING WILL BE ALLOWED.
7. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR, AT HIS EXPENSE, ALL UTILITIES, PAVEMENT, CURBS, FENCES OR ANY OTHER ITEMS DAMAGED DURING CONSTRUCTION REGARDLESS OF WHETHER THESE ITEMS ARE SHOWN ON THE CONSTRUCTION PLANS.
8. WHENEVER EXISTING UTILITIES, INDICATED OR NOT ON PLANS, PRESENT OBSTRUCTIONS TO GRADE AND/OR ALIGNMENT OF PROPOSED PIPE, CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ENGINEER WHO WILL DETERMINE IF EXISTING IMPROVEMENTS ARE TO BE RELOCATED OR IF THE GRADE AND/OR ALIGNMENT OF PROPOSED PIPE IS TO BE CHANGED.
9. DUST PREVENTION SHALL BE PROVIDED BY THE CONTRACTOR AT HIS OWN EXPENSE. DUST CONTROL SHALL INCLUDE SPRAYING OF WATER ON ALL DISTURBED AREAS, SPOIL PILES, OR HAUL MATERIALS ASSOCIATED WITH THE PROJECT OR OTHER METHODS APPROVED BY THE WTCPUA.
10. CLEANUP - UPON COMPLETION AND BEFORE MAKING APPLICATION FOR ACCEPTANCE OF THE WORK, THE CONTRACTOR SHALL CLEAN ALL STREETS AND ALL GROUND OCCUPIED BY HIM IN CONNECTION WITH THE WORK OF ALL RUBBISH, EXCESS MATERIALS, EXCESS EXCAVATED MATERIALS, TEMPORARY STRUCTURES AND EQUIPMENT. ALL PARTS OF THE WORK SHALL BE LEFT IN A NEAT AND PRESENTABLE CONDITION SATISFACTORY TO THE WTCPUA AND OTHER GOVERNMENTAL BODIES HAVING JURISDICTION PRIOR TO SUBMITTAL OF THE FINAL PAYMENT.
11. MAINTAIN ACCESS TO BUSINESSES AND RESIDENCES AT ALL TIMES. COORDINATE WITH PROPERTY OWNERS TO MINIMIZE DISRUPTION OF DELIVERIES, PARKING, AND OTHER ACTIVITIES.
12. DOWATERING, IF NECESSARY, SHALL BE CONSIDERED INCIDENTAL TO THE WORK AND SHALL NOT CONSTITUTE A BASIS FOR ADDITIONAL PAYMENT.
13. MINIMUM DEPTH OF COVER FROM TOP OF PIPE TO FINISHED GRADE FOR ALL WATER LINES SHALL BE FOUR FEET, UNLESS OTHERWISE SHOWN ON THE PLANS. INSTALL LINES TO AVOID HIGH POINTS.
14. CONCRETE SHALL BE CLASS 'A' WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI, UNLESS OTHERWISE NOTED.
15. REINFORCING STEEL SHALL BE ASTM A 615M, GRADE 60 UNLESS OTHERWISE NOTED.

WEST TRAVIS COUNTY PUA WATER AND WASTEWATER UTILITY NOTES

1. WEST TRAVIS COUNTY PUA IS THE WATER AND/OR WASTEWATER SERVICE PROVIDER FOR THIS PROJECT. A PRE-CONSTRUCTION MEETING WITH THE WTCPUA SHALL BE HELD PRIOR TO COMMENCEMENT OF CONSTRUCTION TO SCHEDULE INSPECTION OF INSTALLATION OF WATER/WASTEWATER FACILITIES. WATER FACILITIES WILL BE INSPECTED UP TO, AND INCLUDING, THE WATER METER AND/OR FIRE HYDRANTS. THE CONTACT NUMBER FOR WTCPUA IS (512) 327-9204.
2. THE CITY OF AUSTIN STANDARD SPECIFICATIONS AND STANDARD DETAILS CURRENT AT THE TIME OF CONSTRUCTION SHALL GOVERN MATERIALS AND METHODS USED TO PERFORM THIS WORK. CITY OF AUSTIN SPECIFICATIONS AND STANDARD DETAILS ARE AVAILABLE AT [HTTP://WWW.AUSTINTEXAS.GOV/DEVELOPMENT/CODES-AND-TECHNICAL-INFORMATION](http://www.austintexas.gov/development/codes-and-technical-information)
3. CONTRACTOR SHALL OBTAIN A STREET CUT PERMIT FROM THE CITY OF BEE CAVE OR OTHER APPROPRIATE PARTY BEFORE BEGINNING CONSTRUCTION WITHIN THE RIGHT-OF-WAY OF A PUBLIC STREET OR ALLEY.
4. THE WTCPUA SHALL BE CONTACTED AT (512) 327-9204 AT LEAST 48 HOURS BEFORE CONNECTING TO THEIR EXISTING WATER AND/OR WASTEWATER FACILITIES.
5. THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM AT 1-800-344-8377 FOR EXISTING UTILITY LOCATIONS PRIOR TO ANY EXCAVATION. IN ADVANCE OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES TO BE EXTENDED, TIED TO, OR ALTERED, OR SUBJECT TO DAMAGE/INCONVENIENCE BY THE CONSTRUCTION OPERATIONS.
6. NO OTHER UTILITY SERVICE/APPERTENANCES SHALL BE PLACED NEAR THE PROPERTY LINE, OR OTHER ASSIGNED LOCATION DESIGNATED FOR WATER AND WASTEWATER UTILITY SERVICE THAT WOULD INTERFERE WITH THE WATER AND/OR WASTEWATER SERVICES.
7. THE SEPARATION DISTANCE BETWEEN WATER MAINS, WASTEWATER MAINS, AND OTHER UTILITIES SHALL COMPLY WITH TCEQ RULES OR HAVE A VARIANCE APPROVED BY TCEQ BEFORE SUBMITTING PIPING ASSIGNMENTS TO THE WTCPUA.
8. THE CITY OF AUSTIN SPECIFICATION ITEM 509S WILL BE REQUIRED AS A MINIMUM TRENCH SAFETY MEASURE. CONTRACT DOCUMENTS, WHICH INCLUDE A TRENCH SAFETY PLAN AND A PAY ITEM FOR TRENCH SAFETY MEASURES, IN COMPLIANCE WITH OSHA, STATE AND ALL CITY OF AUSTIN REQUIREMENTS BEFORE BEGINNING WORK ON THE PROJECT.
9. ALL MATERIAL TESTS, INCLUDING SOIL DENSITY TESTS AND RELATED SOIL ANALYSIS, SHALL BE ACCOMPLISHED BY AN INDEPENDENT LABORATORY FUNDED BY THE OWNER IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATION ITEM 1805-4.
10. PRESSURE TAPS SHALL BE IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATION ITEM 510.3(24). CONTRACTOR SHALL PERFORM ALL WORK AND SHALL FURNISH ALL MATERIALS, INSTALL, AND AIR TEST THE SLEEVE AND VALVE. CONTRACTOR SHALL SCHEDULE ALL SUCH CONNECTIONS IN ADVANCE AND SUCH SCHEDULE SHALL BE APPROVED BY THE WTCPUA BEFORE BEGINNING THE WORK. AT LEAST 48 HOURS NOTICE SHALL BE GIVEN TO THE WTCPUA PRIOR TO MAKING THE CONNECTION, AND A REPRESENTATIVE FROM THE WTCPUA SHALL BE PRESENT WHEN THE CONNECTION IS MADE. "SIZE ON SIZE" TAPS WILL NOT BE PERMITTED, UNLESS IT HAS BEEN DEMONSTRATED THAT A MORE ACCEPTABLE CONNECTION WOULD INVOLVE CONSIDERABLE HARDSHIP TO THE UTILITY SYSTEM. ALL TAPS SHALL BE MADE BY USE OF AN APPROVED FULL CIRCLE, GASKETED CAST IRON OR DUCTILE IRON TAPPING SLEEVE. CONCRETE BLOCKING SHALL BE PLACED BEHIND AND UNDER ALL TAP SLEEVES PRIOR TO MAKING THE PRESSURE TAP AND THE USE OF PRECAST BLOCKS MAY BE USED TO HOLD THE TAP IN ITS CORRECTION POSITION PRIOR TO BLOCKING. THE BLOCKING BEHIND AND UNDER THE TAP SHALL HAVE A MINIMUM OF 24 HOURS CURE TIME BEFORE THE VALVE CAN BE REOPENED FOR SERVICE FROM THAT TAP.
11. THRUST RESTRAINT SHALL BE IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATION ITEM 510.3(22).
12. FIRE HYDRANTS SHALL BE SET IN ACCORDANCE WITH CITY OF STANDARD SPECIFICATION ITEM 511S.3 E AND SHALL BE APPROVED FIRE DEPARTMENT OR OTHER APPROPRIATE PARTY PRIOR TO INSTALLATION. FIRE HYDRANTS ON MAINS UNDER CONSTRUCTION SHALL BE SECURELY WRAPPED WITH A POLY WRAP BAG AND TAPED IN PLACE. THE POLY WRAP SHALL BE REMOVED WHEN THE MAINS ARE ACCEPTED AND PLACED IN SERVICE. FIRE HYDRANTS THAT ARE TO BE USED AS DRAIN HYDRANTS SHALL BE PAINTED SILVER W/ BLUE CAPS PRIOR TO ACCEPTANCE.
13. WATER LINE TESTING AND STERILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATION ITEM 510.3(28) AND/OR TCEQ RULES.
14. TEST PRESSURE FOR TWO-HOUR TEST SHALL BE AT 175 PSI AT THE LOWEST POINT IN THE LINE.

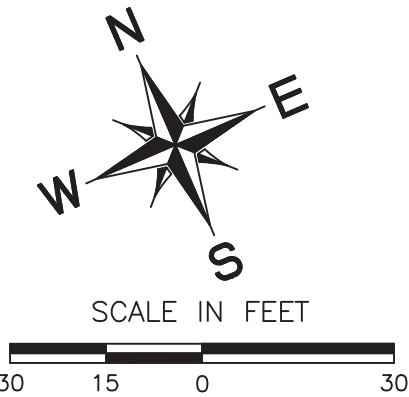
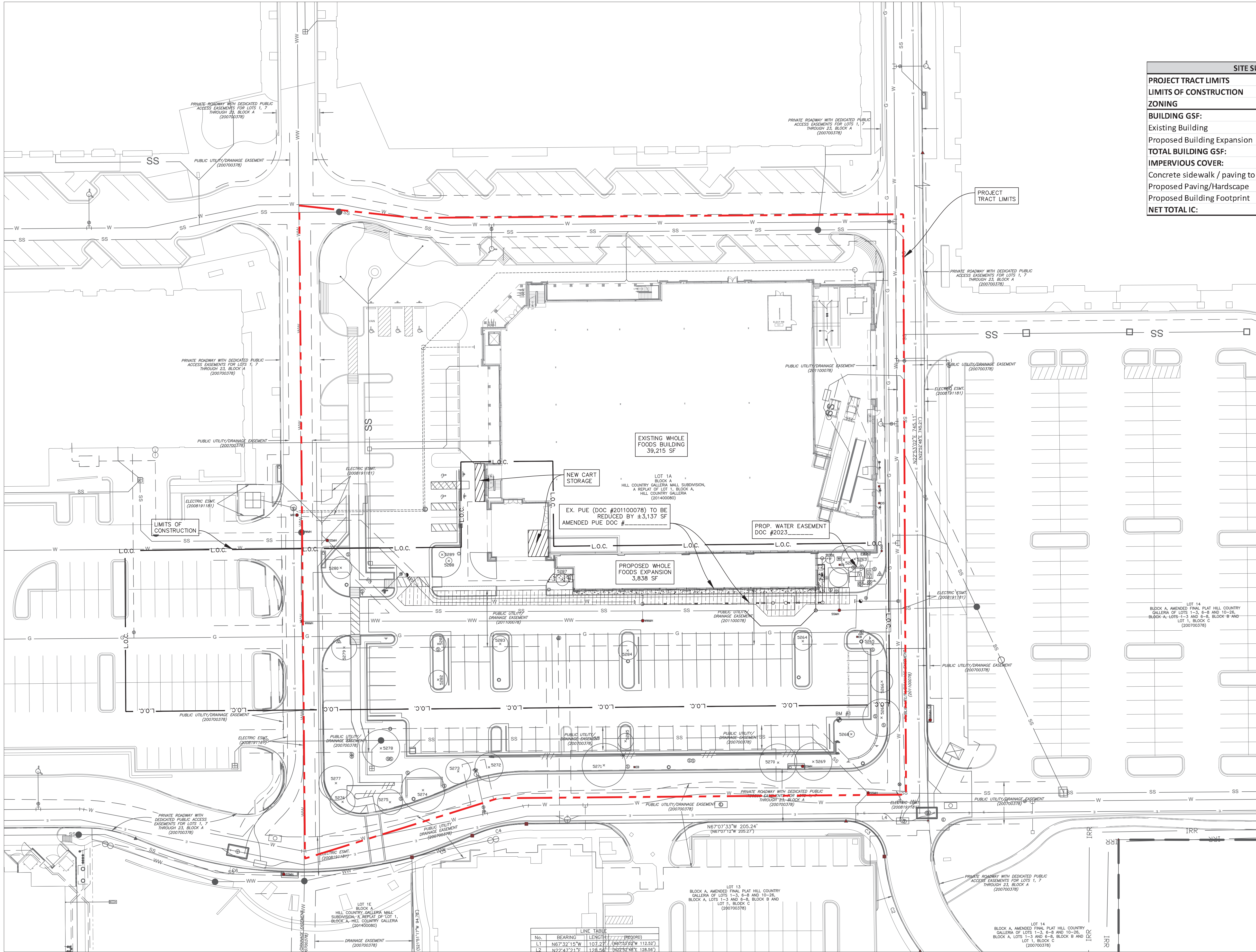
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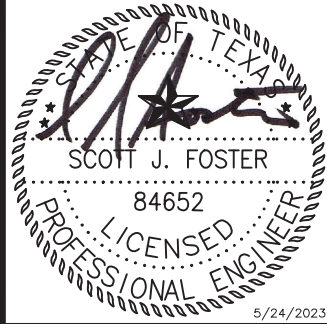
THE PROPOSED IC FOR LOT 1A, BLOCK A WHOLE FOODS EXPANSION IS +65 SF. THE SF WILL BE DEDUCTED FROM THE HCG UNALLOCATED IMPERVIOUS COVER ON LOT 1, BLOCK A PER ORDINANCE #72.

Scale: AS SHOWN		Designed by:		App.	
Drawn by:		Checked by:		No.	
Date: MAY 2023		Project No.		Date	
Sheet 04		HILL COUNTRY GALLERIA OVERALL SITE PLAN		Revisions	
360° PROFESSIONAL SERVICES, INC.		WHOLE FOODS EXPANSION HILL COUNTRY GALLERIA BEE CAVE, TEXAS		No.	
TEXAS FIRM REGISTRATION #4932 P.O. BOX 3639 CEDAR PARK, TEXAS 78613		SCOTT J. FOSTER 84652 LICENSED PROFESSIONAL ENGINEER 5/24/2023		Date	
PLOT DATE: 5/24/2023		PLOT DATE: 5/24/2023		Date	
PLOT DATE: 5/24/2023		PLOT DATE: 5/24/2023		Date	

	SHEET 05	Scale: AS SHOWN	Designed by: Drawn by: Checked by: Date: MAY 2023 Project No.:	HILL COUNTRY GALLERIA OVERALL SITE PLAN CALCULATIONS	WHOLE FOODS EXPANSION HILL COUNTRY GALLERIA BEE CAVE, TEXAS	 SCOTT J. FOSTER LICENSED PROFESSIONAL ENGINEER STATE OF TEXAS 07/28/2023	 360 PROFESSIONAL SERVICES, INC. TEXAS FIRM REGISTRATION #4932 OFFICE ADDRESS: CEDAR PARK, TEXAS 78630 PHONE (512) 354-1682 FAX (512) 354-1682
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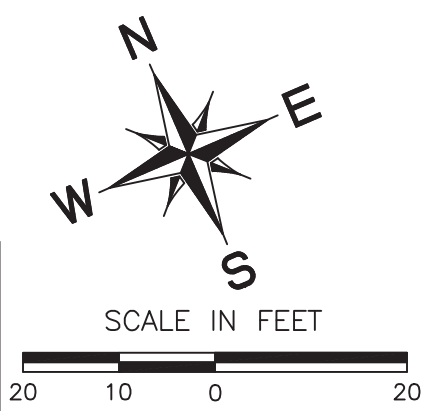
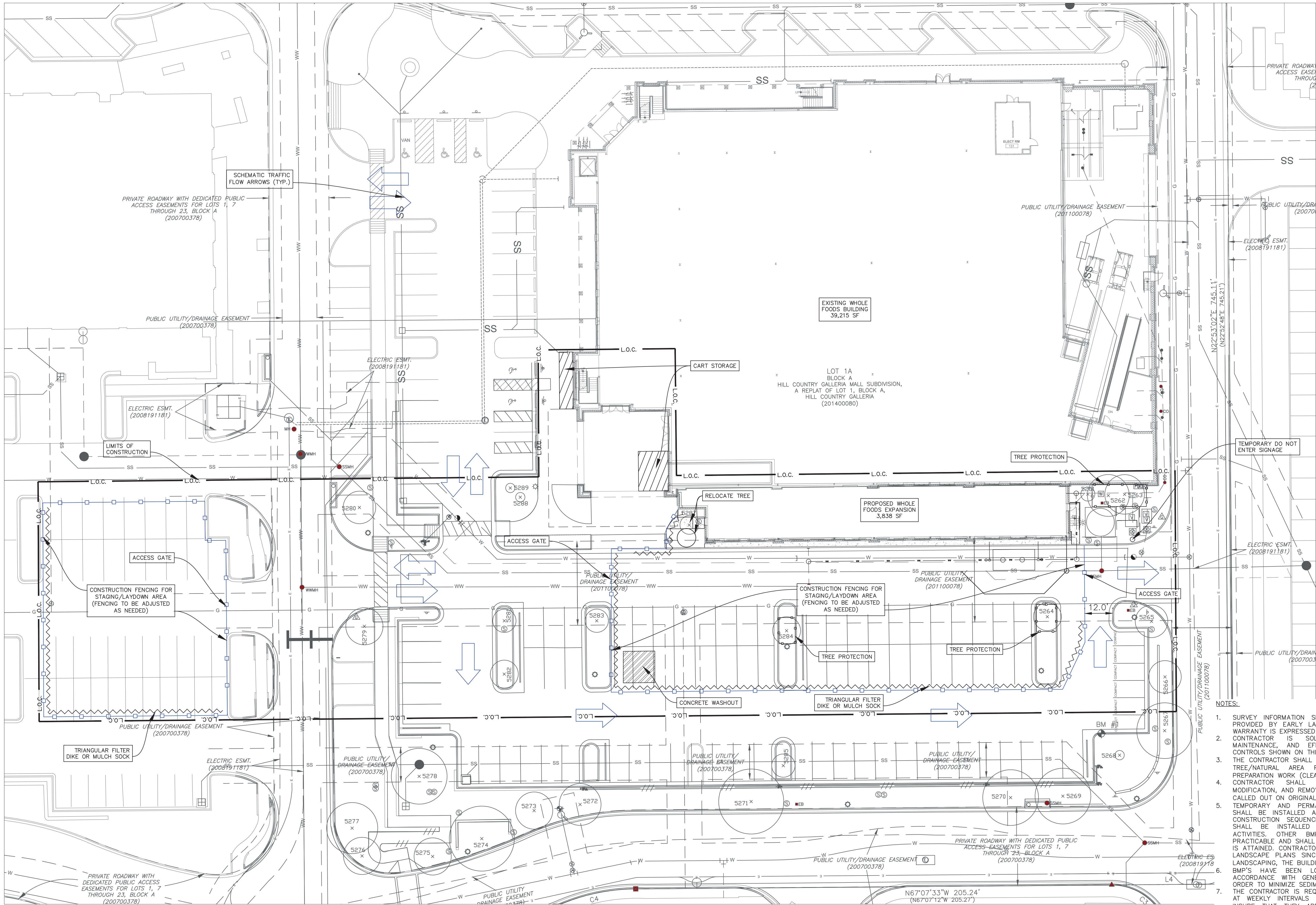
SITE SUMMARY TABLE			
PROJECT TRACT LIMITS	147,021 SF	3.38 AC	
LIMITS OF CONSTRUCTION	54,087 SF	1.24 AC	
ZONING		PD-TC	
BUILDING GSF:			
Existing Building	39,215 SF		
Proposed Building Expansion	3,838 SF		
TOTAL BUILDING GSF:	43,053 SF		
IMPERVIOUS COVER:			
Concrete sidewalk / paving to be removed	(4,238) SF		
Proposed Paving/Hardscape	494 SF		
Proposed Building Footprint	3,810 SF		
NET TOTAL IC:	65 SF		



WHOLE FOODS EXPANSION
HILL COUNTRY GALLERIA
BEE CAVE, TEXAS

PROJECT SITE PLAN

Scale: AS SHOWN
Designed by:
Drawn by:
Checked by:
Date: MAY 2023
Project No:



TREE INDEX		
TAG NO.	TYPE	INDICATES MULTI TRUNK
514	LO	17 14 11
		(29.5)
INDIVIDUAL TRUNK DIA. (IN INCHES)		
TOTAL (ROOT ZONE)		
CRITICAL ROOT ZONES (TREE CIRCLES) ARE SHOWN USING THE COA FORMULA FOR SINGLE AND MULTI TRUNK TREES.		
CE = CEDAR ELM		
MNL = MOUNTAIN LAUREL		
WIL = WILLOW		
UKT = UNKNOWN TREE		
ASH = ASH		
LO = LIVE OAK		
TREES TO BE PROTECTED/RELOCATED WITH EXPANSION		
5261	MNL	2 2 (3)
5262	MNL	4 3 3 2 2 (9)
5263	MNL	3 3 3 2 1 (8.5)
5264	UKT	6
5284	UKT	6
5286	WIL	7
5287	MNL	4

- NOTES:
1. SURVEY INFORMATION SHOWN HEREON IS BASED UPON INFORMATION PROVIDED BY EARLY LAND SURVEYING, LLC DATED MARCH 2023. NO WARRANTY IS EXPRESSED OR IMPLIED TO ITS ACCURACY.
 2. CONTRACTOR IS SOLELY RESPONSIBLE FOR IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL SWPPP CONTROLS. CONTROLS SHOWN ON THIS SITE MAP ARE SUGGESTED CONTROLS ONLY. THE CONTRACTOR SHALL INSTALL EROSION/SEDIMENTATION CONTROLS AND TREE/NATURAL AREA PROTECTIVE FENCING PRIOR TO ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR EXCAVATION).
 3. CONTRACTOR SHALL RECORD INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL DATES FOR EACH BMP EMPLOYED (WHETHER CALLED OUT ON ORIGINAL SWPPP OR NOT) DIRECTLY ON THE SITE MAP.
 4. TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE ARCHITECTURAL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE BUILDING(S), AND SITE PAVING.
 5. BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER.
 6. THE CONTRACTOR IS REQUIRED TO INSPECT THE CONTROLS AND FENCES AT WEEKLY INTERVALS AND AFTER SIGNIFICANT RAINFALL EVENTS TO INSURE THAT THEY ARE FUNCTIONING PROPERLY. THE PERSON(S) RESPONSIBLE FOR MAINTENANCE OF CONTROLS AND FENCES SHALL IMMEDIATELY MAKE ANY NECESSARY REPAIRS TO DAMAGED AREAS. SILT ACCUMULATION AT CONTROLS MUST BE REMOVED WHEN THE DEPTH REACHES SIX (6) INCHES.
 7. ADDITIONAL EROSION AND SEDIMENTATION CONTROLS MAY BE REQUIRED BY THE INSPECTOR AT TIME OF CONSTRUCTION.
 8. CONTRACTOR TO REPLACE SILT FENCE WITH TRIANGULAR FILTER DIKE AS NEEDED TO CONSTRUCT DRIVEWAYS AND PARKING SPACES.
 9. CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY SEDIMENT TRANSPORTED FROM THE LOC TO THE OFFSITE DETENTION / WATER QUALITY POND(S).

App.

No.

Date

Revisions

360

PROFESSIONAL SERVICES, INC.

TEXAS FIRM REGISTRATION F4932
P.O. BOX 3639 CEDAR PARK, TEXAS 78630
FAX (512) 900-7882

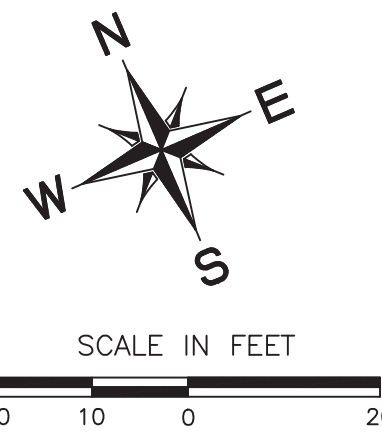
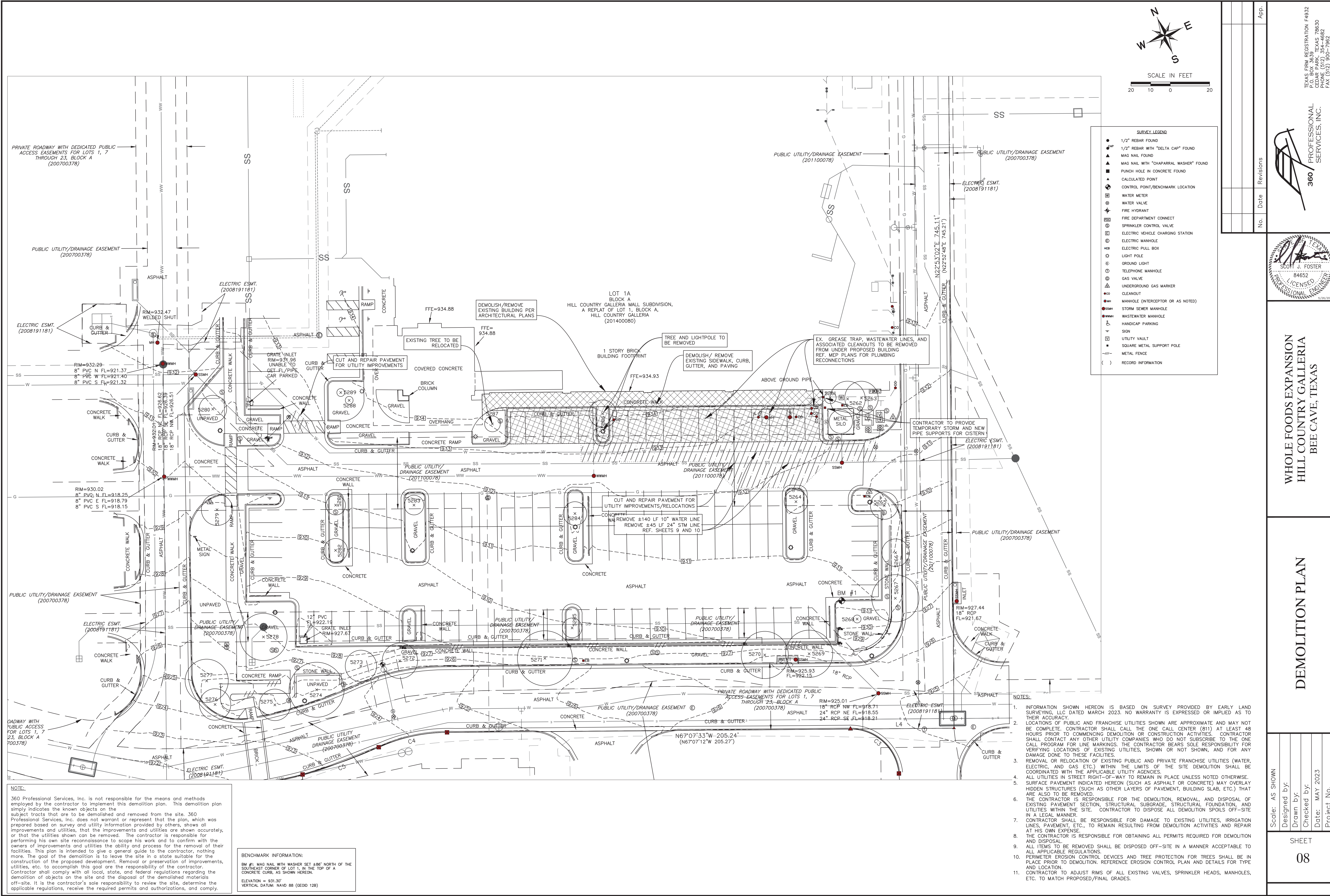
WHOLE FOODS EXPANSION
HILL COUNTRY GALLERIA
BEE CAVE, TEXAS

EROSION CONTROL AND
STAGING PLAN

Scale: AS SHOWN

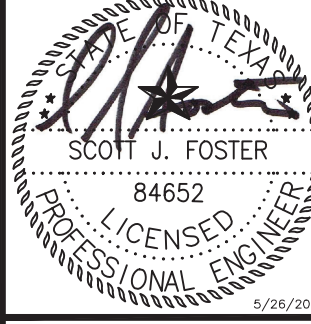
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Drawn by:
Checked by:
Date: MAY 2023
Project No.

Sheet
07



SURVEY LEGEND	
●	1/2" REBAR FOUND
▲	1/2" REBAR WITH "DELTA CAP" FOUND
▲	MAG NAIL FOUND
▲	MAG NAIL WITH "CHAPARRAL WASHER" FOUND
■	PUNCH HOLE IN CONCRETE FOUND
▲	CALCULATED POINT
⊕	CONTROL POINT/BENCHMARK LOCATION
⊕	WATER METER
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	FIRE DEPARTMENT CONNECT
⊕	SPRINKLER CONTROL VALVE
⊕	ELECTRIC VEHICLE CHARGING STATION
⊕	ELECTRIC MANHOLE
⊕	ELECTRIC PULL BOX
⊕	LIGHT POLE
⊕	GROUND LIGHT
⊕	TELEPHONE MANHOLE
⊕	GAS VALVE
⊕	UNDERGROUND GAS MARKER
⊕	CLEANOUT
⊕	MANHOLE (INTERCEPTOR OR AS NOTED)
⊕	STORM SEWER MANHOLE
⊕	WASTEWATER MANHOLE
⊕	HANDICAP PARKING
⊕	SIGN
⊕	UTILITY VAULT
⊕	SQUARE METAL SUPPORT POLE
⊕	METAL FENCE
()	RECORD INFORMATION

No.	Date	Revisions	App.



WHOLE FOODS EXPANSION
HILL COUNTRY GALLERIA
BEE CAVE, TEXAS

DEMOLITION PLAN

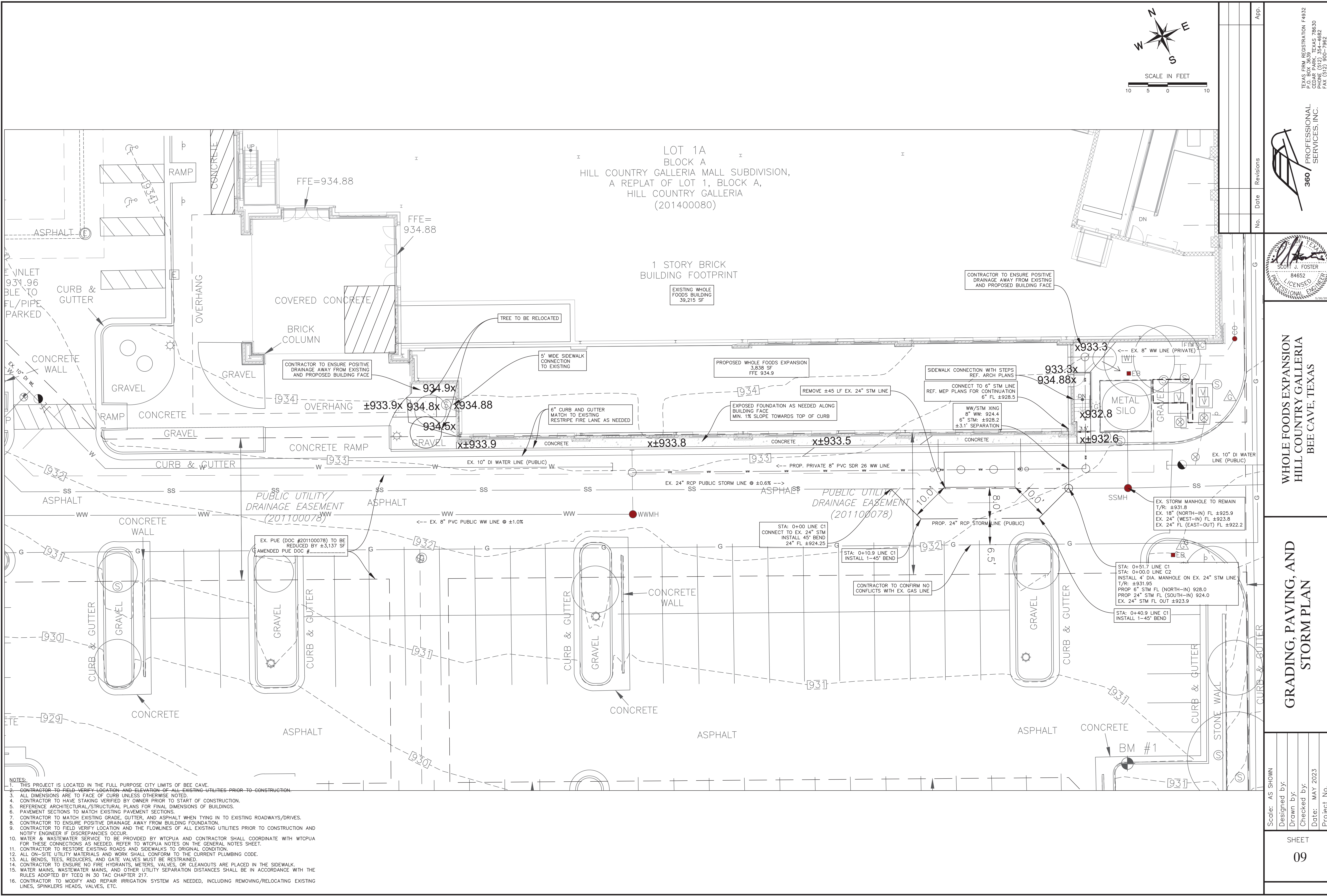
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Checked by:
Date: MAY 2023
Project No:

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NOTE:
360 Professional Services, Inc. is not responsible for the means and methods employed by the contractor to implement this demolition plan. This demolition plan simply indicates the known objects on the site. 360 Professional Services, Inc. does not warrant or represent that the plan, which was prepared based on survey and utility information provided by others, shows all improvements and utilities that the improvements and utilities are shown accurately, or that the utilities shown can be removed. The contractor is responsible for performing his own site reconnaissance to scope his work and to confirm with the owners of improvements and utilities the ability and process for the removal of their facilities. This plan is intended to give a general guide to the contractor, nothing more. The goal of the demolition is to leave the site in a state suitable for the construction of the proposed development. Removal or preservation of improvements, utilities, etc. to accomplish this goal are the responsibility of the contractor. Contractor shall comply with all local, state, and federal regulations regarding the demolition of objects on the site and the disposal of the demolished materials off-site. It is the contractor's sole responsibility to review the site, determine the applicable regulations, receive the required permits and authorizations, and comply.

BENCHMARK INFORMATION:
BM #1: MAG NAIL WITH WASHER SET #86" NORTH OF THE SOUTHEAST CORNER OF LOT 1, 7 THROUGH 23, BLOCK A (200700378)
ELEVATION = 931.30'
VERTICAL DATUM: NAVD 88 (GEOID 12B)

- NOTES:
- INFORMATION SHOWN HEREON IS BASED ON SURVEY PROVIDED BY EARLY LAND SURVEYING, LLC DATED MARCH 2023. NO WARRANTY IS EXPRESSED OR IMPLIED AS TO THEIR ACCURACY.
 - LOCATIONS OF PUBLIC AND FRANCHISE UTILITIES SHOWN ARE APPROXIMATE AND MAY NOT BE COMPLETE. CONTRACTOR SHALL CALL THE ONE CALL CENTER (811) AT LEAST 48 HOURS PRIOR TO COMMENCING DEMOLITION OR CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL CONTACT ANY OTHER UTILITY COMPANIES WHO DO NOT SUBSCRIBE TO THE ONE CALL PROGRAM FOR LINE MARKINGS. THE CONTRACTOR BEARS SOLE RESPONSIBILITY FOR VERIFYING LOCATIONS OF EXISTING UTILITIES, SHOWN OR NOT SHOWN, AND FOR ANY DAMAGE DONE TO THESE FACILITIES.
 - REMOVAL OR RELOCATION OF EXISTING PUBLIC AND PRIVATE FRANCHISE UTILITIES (WATER, ELECTRIC, AND GAS ETC.) WITHIN THE LIMITS OF THE SITE DEMOLITION SHALL BE COORDINATED WITH THE APPLICABLE UTILITY AGENCIES.
 - ALL UTILITIES IN STREET RIGHT-OF-WAY TO REMAIN IN PLACE UNLESS NOTED OTHERWISE.
 - SURFACE PAVEMENT INDICATED HEREON (SUCH AS ASPHALT OR CONCRETE) MAY OVERLAY HIDDEN STRUCTURES (SUCH AS OTHER LAYERS OF PAVEMENT, BUILDING SLAB, ETC.) THAT ARE ALSO TO BE REMOVED.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL OF EXISTING PAVEMENT SECTION, STRUCTURAL SUBGRADE, STRUCTURAL FOUNDATION, AND UTILITIES WITHIN THE SITE. CONTRACTOR TO DISPOSE ALL DEMOLITION SPOILS OFF-SITE IN A LEGAL MANNER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES, IRRIGATION LINES, PAVEMENT, ETC., TO REMAIN RESULTING FROM DEMOLITION ACTIVITIES AND REPAIR AT HIS OWN EXPENSE.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
 - ALL ITEMS TO BE REMOVED SHALL BE DISPOSED OFF-SITE IN A MANNER ACCEPTABLE TO ALL APPLICABLE REGULATIONS.
 - PERIMETER EROSION CONTROL DEVICES AND TREE PROTECTION FOR TREES SHALL BE IN PLACE PRIOR TO DEMOLITION. REFERENCE EROSION CONTROL PLAN AND DETAILS FOR TYPE AND LOCATION.
 - CONTRACTOR TO ADJUST RIMS OF ALL EXISTING VALVES, SPRINKLER HEADS, MANHOLES, ETC. TO MATCH PROPOSED/FINAL GRADES.



- NOTES:
- THIS PROJECT IS LOCATED IN THE FULL PURPOSE CITY LIMITS OF BEE CAVE.
 - CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO HAVE STAKING VERIFIED BY OWNER PRIOR TO START OF CONSTRUCTION.
 - REFERENCE ARCHITECTURAL/STRUCTURAL PLANS FOR FINAL DIMENSIONS OF BUILDINGS.
 - PAVEMENT SECTIONS TO MATCH EXISTING PAVEMENT SECTIONS.
 - CONTRACTOR TO MATCH EXISTING GRADE, GUTTER, AND ASPHALT WHEN TYING IN TO EXISTING ROADWAYS/DRIVES.
 - CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATION.
 - CONTRACTOR TO FIELD VERIFY LOCATION AND THE FLOWLINES OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IF DISCREPANCIES OCCUR.
 - WATER & WASTEWATER SERVICE TO BE PROVIDED BY WTCPUA AND CONTRACTOR SHALL COORDINATE WITH WTCPUA FOR THESE CONNECTIONS AS NEEDED. REFER TO WTCPUA NOTES ON THE GENERAL NOTES SHEET.
 - CONTRACTOR TO RESTORE EXISTING ROADS AND SIDEWALKS TO ORIGINAL CONDITION.
 - ALL ON-SITE UTILITY MATERIALS AND WORK SHALL CONFORM TO THE CURRENT PLUMBING CODE.
 - ALL BENDS, TEES, REDUCERS, AND GATE VALVES MUST BE RESTRAINED.
 - CONTRACTOR TO ENSURE NO FIRE HYDRANTS, METERS, VALVES, OR CLEANOUTS ARE PLACED IN THE SIDEWALK.
 - WATER MAINS, WASTEWATER MAINS, AND OTHER UTILITY SEPARATION DISTANCES SHALL BE IN ACCORDANCE WITH THE RULES ADOPTED BY TCEQ IN 30 TAC CHAPTER 217.
 - CONTRACTOR TO MODIFY AND REPAIR IRRIGATION SYSTEM AS NEEDED, INCLUDING REMOVING/RELOCATING EXISTING LINES, SINKERS HEADS, VALVES, ETC.

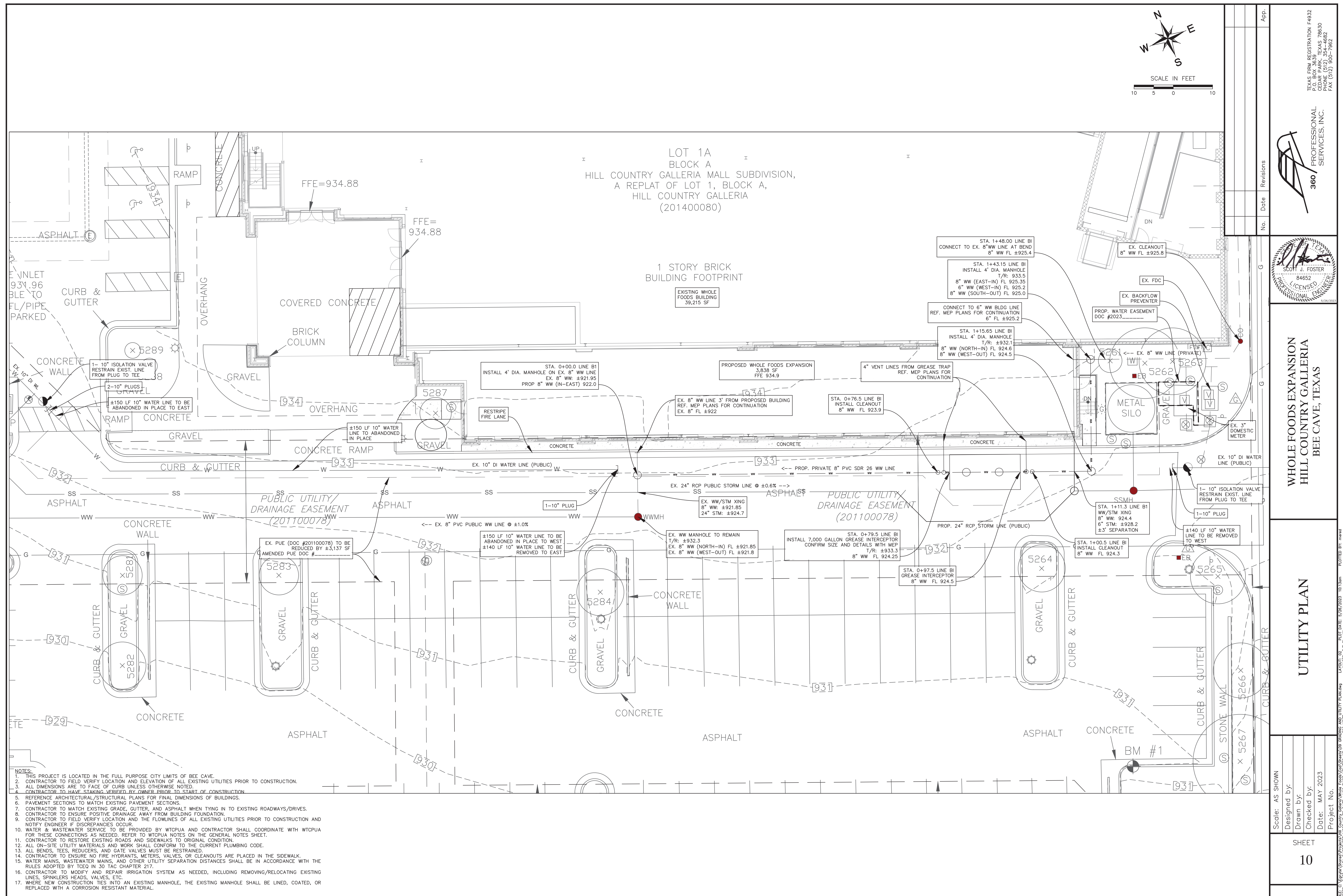
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SHEET 09		
WHOLE FOODS EXPANSION HILL COUNTRY GALLERIA BEE CAVE, TEXAS		
GRADING, PAVING, AND STORM PLAN		

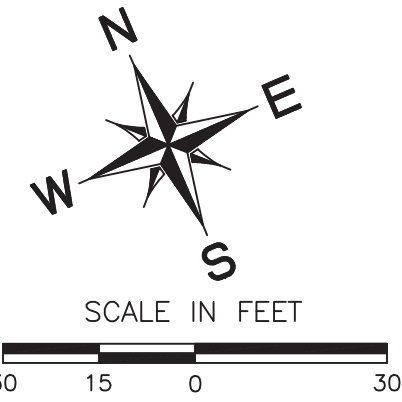
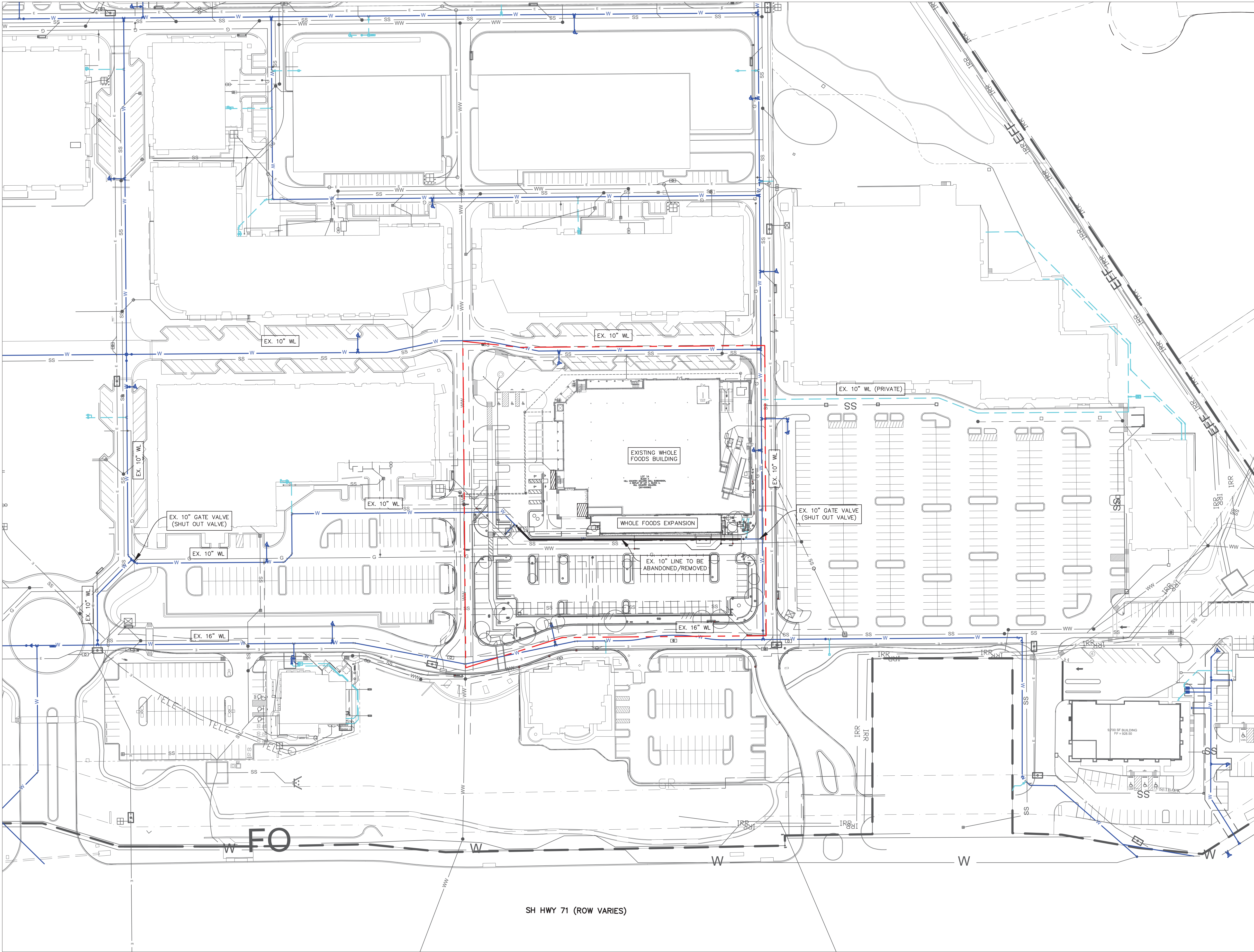
TEXAS FIRM REGISTRATION #4932
P.O. BOX 3639
CEDAR PARK, TEXAS 78630
PHONE: 817-426-7882
FAX: 817-426-7882

360 PROFESSIONAL
SERVICES, INC.

SCOTT J. FOSTER
84652
LICENSED PROFESSIONAL ENGINEER
10/29/2023

PLOTTED BY: mreed
DATE: 5/26/2023 10:15am
PLOT: 12x18 ALTA BASESHEET, MUST BE UP TO DATE, UNLESS OTHERWISE NOTED, W/ WAVELENGTH 360 DPI





LEGEND

- W — W — EX. PUBLIC WATERLINE
- - - - - EX. PRIVATE WATERLINE

No.	Date	Revisions	App.

360 / PROFESSIONAL SERVICES, INC.

TEXAS FIRM REGISTRATION F4932
P.O. BOX 3639 CEDAR PARK, TEXAS 78630
TEL: (512) 900-7882 FAX: (512) 900-7882



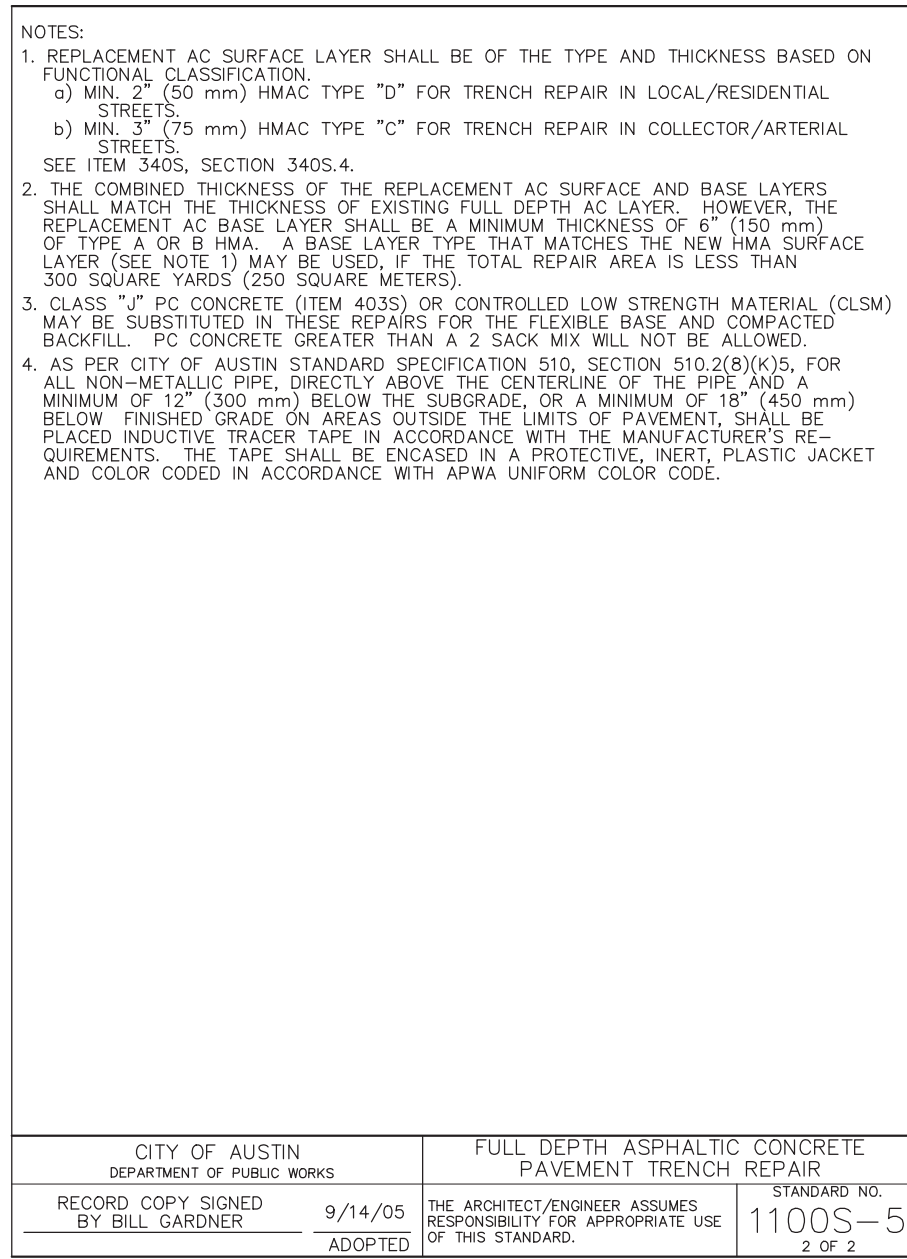
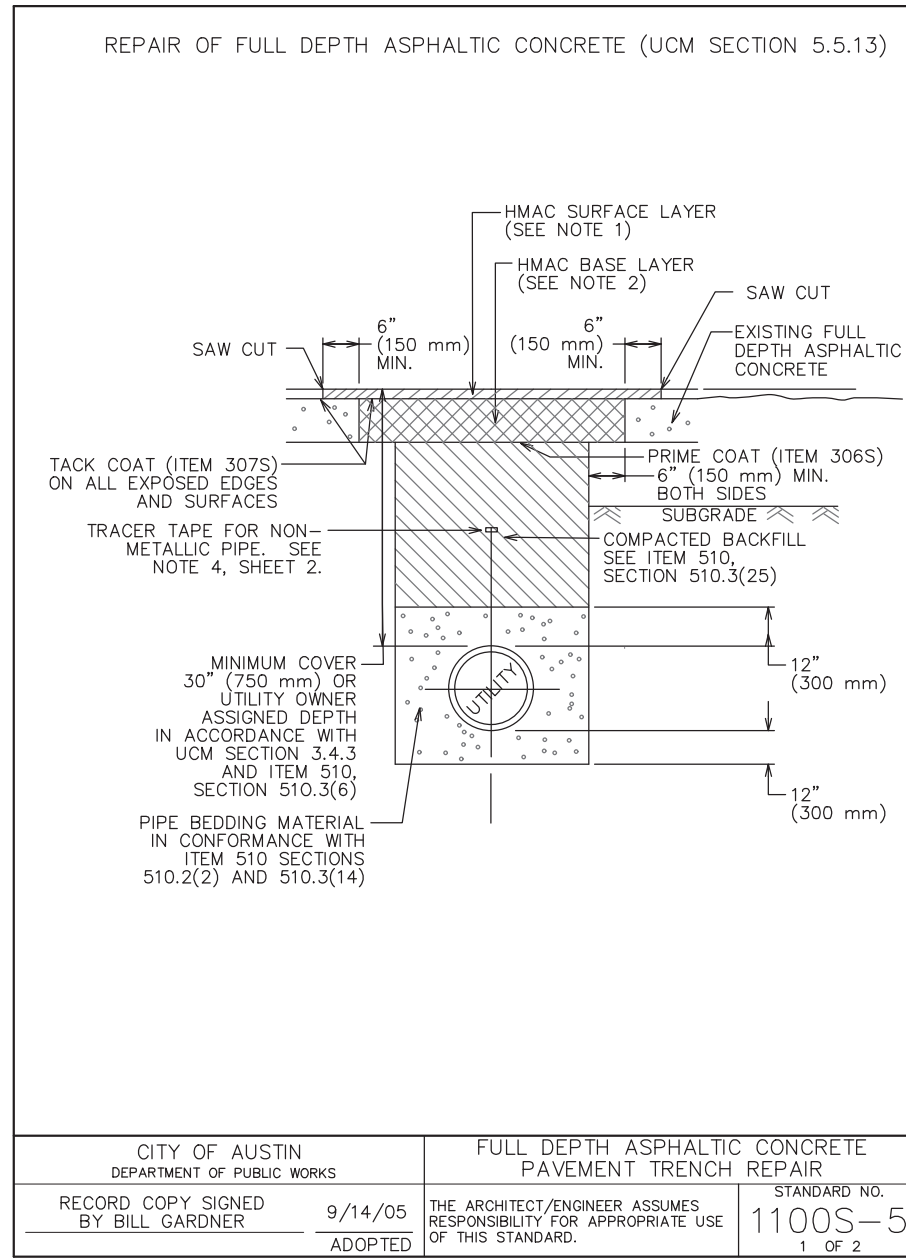
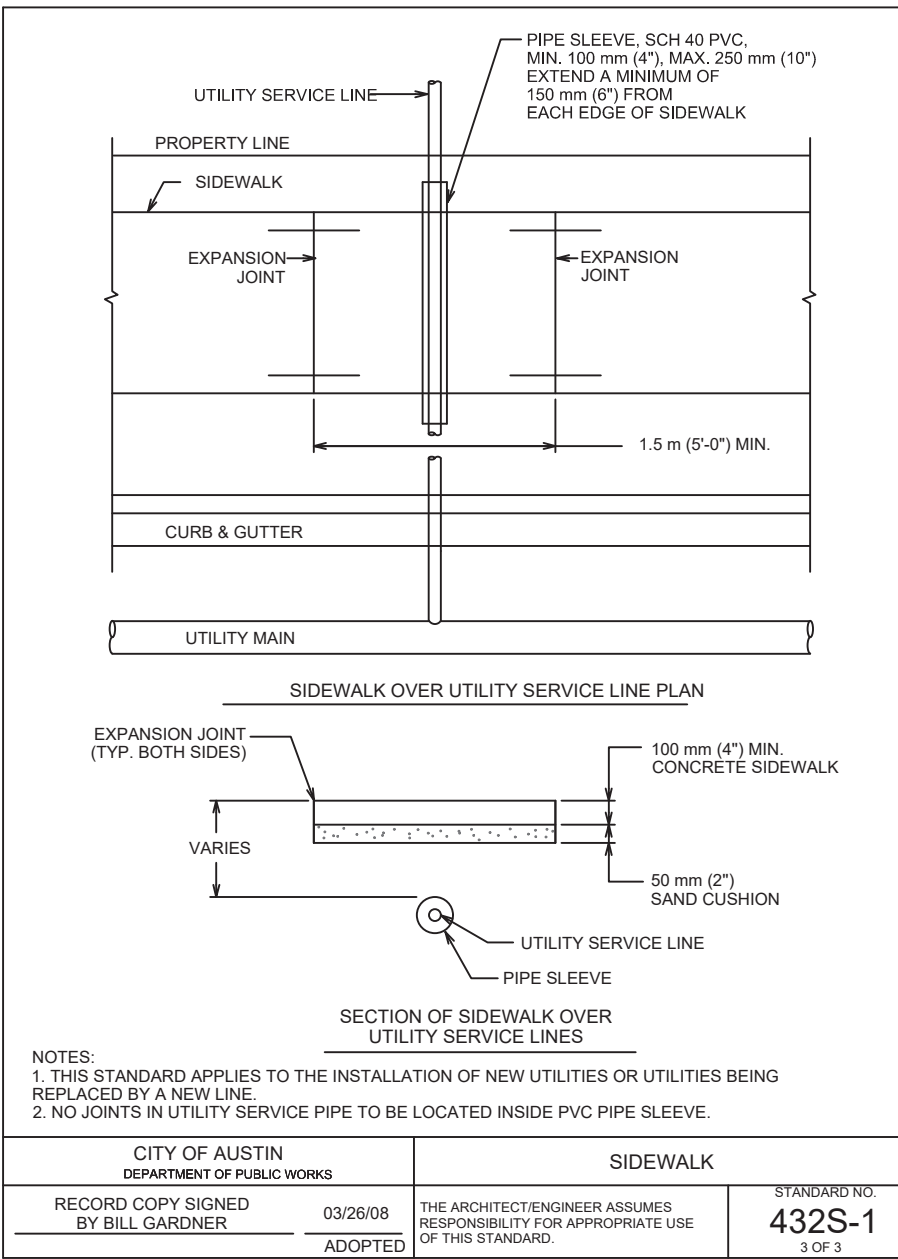
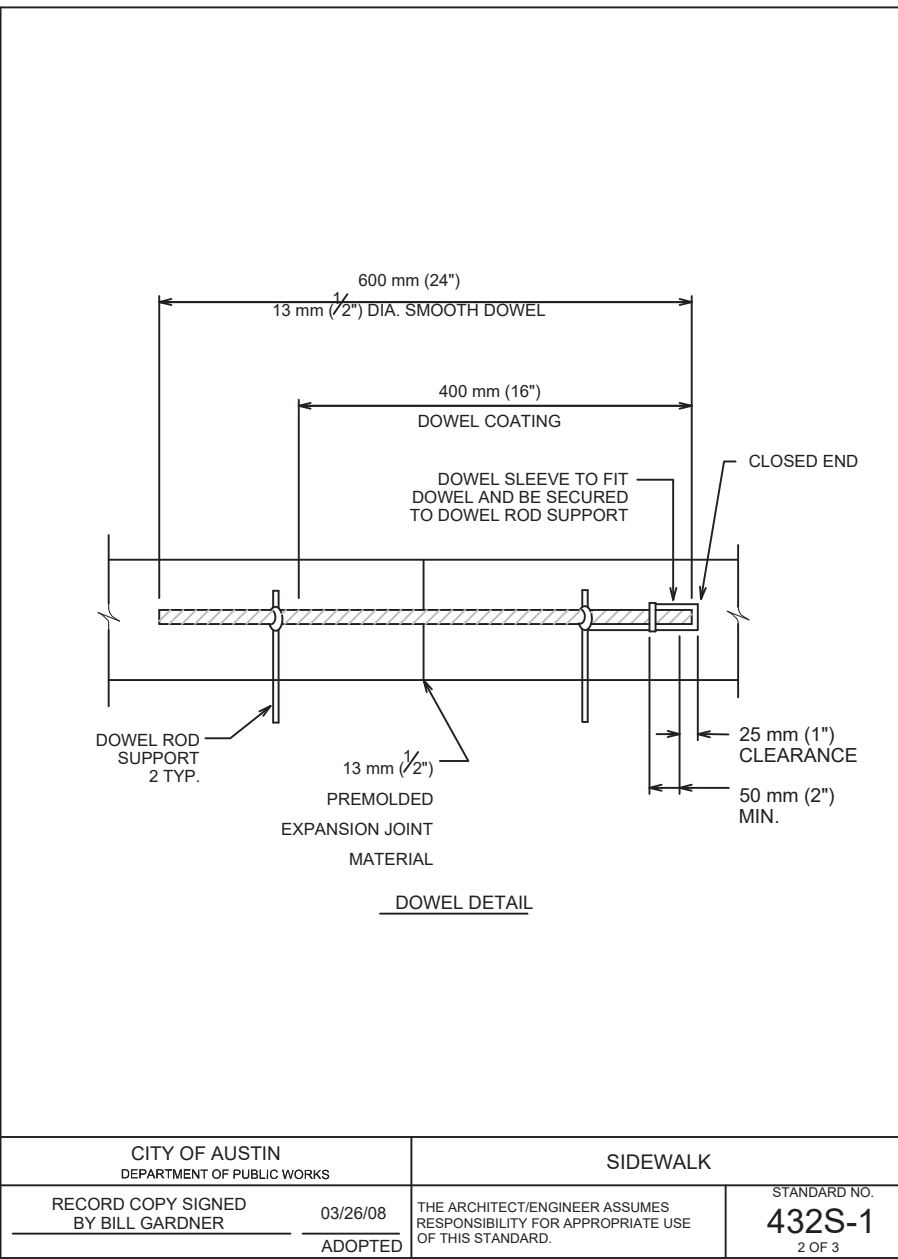
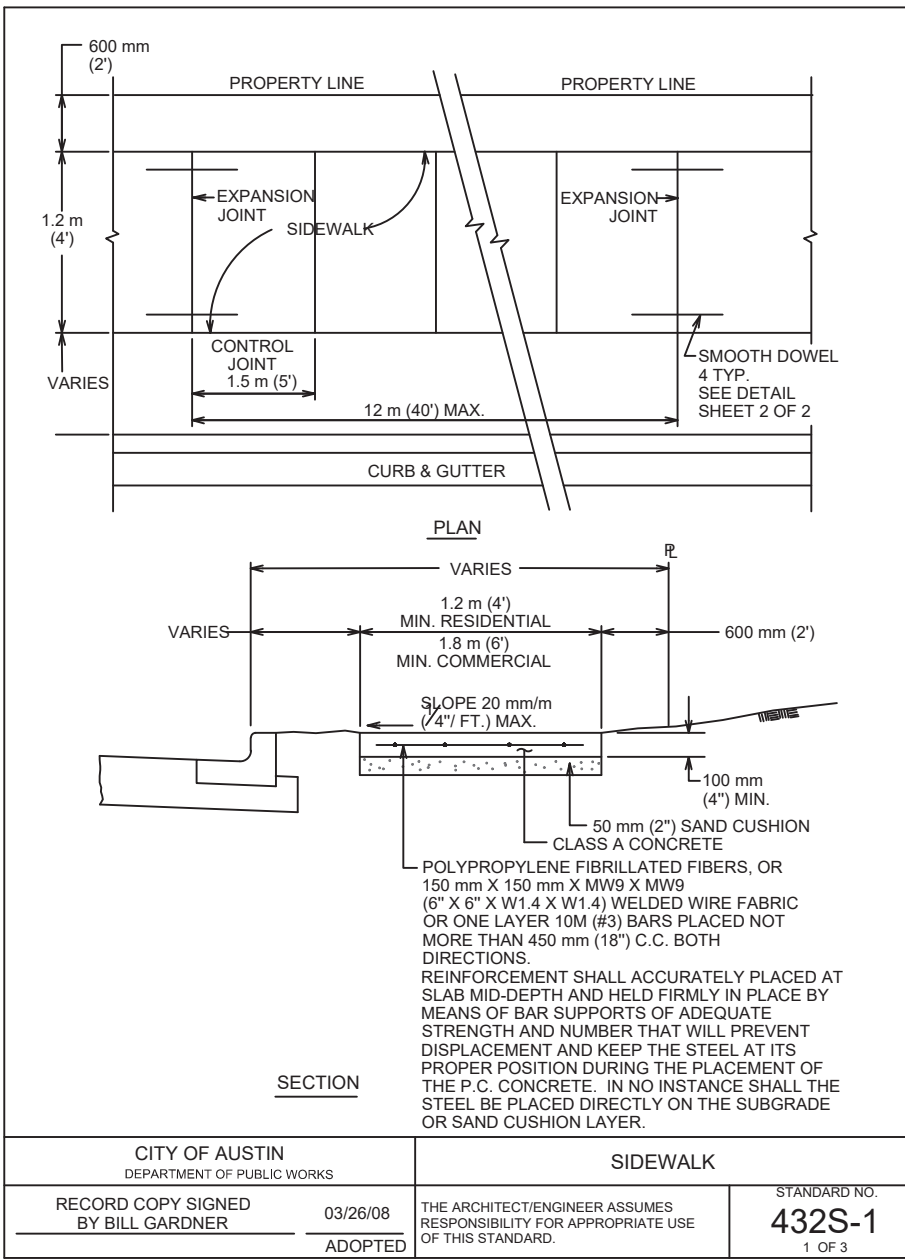
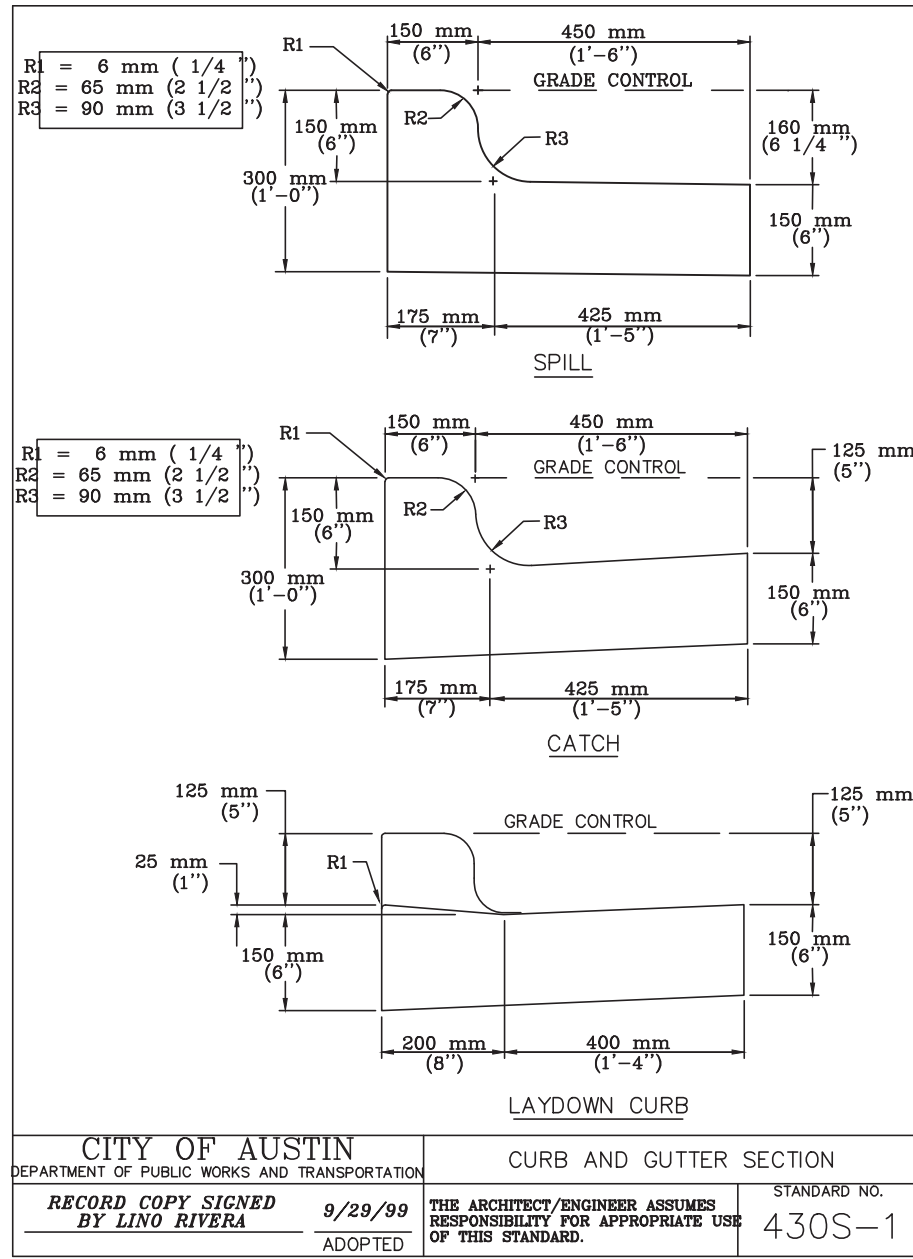
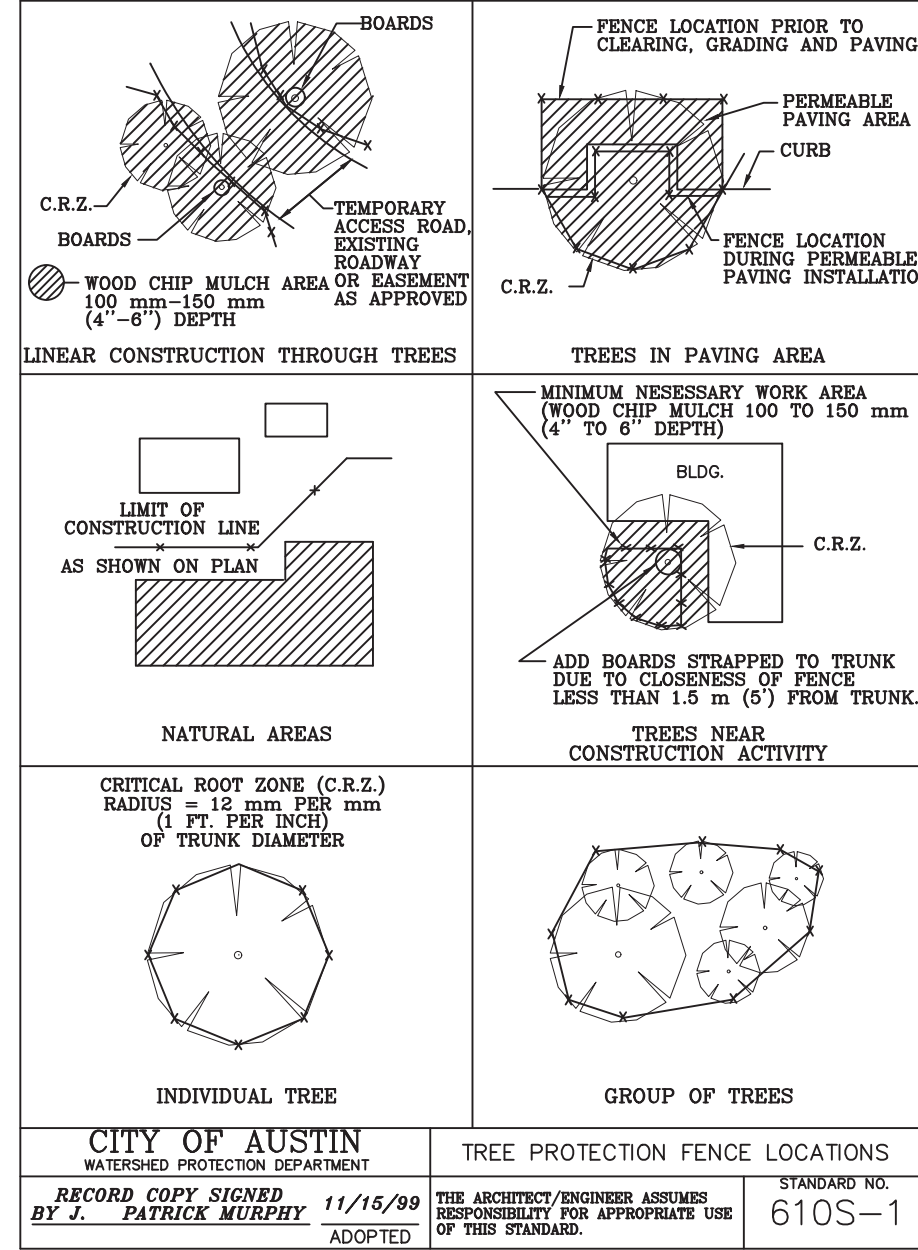
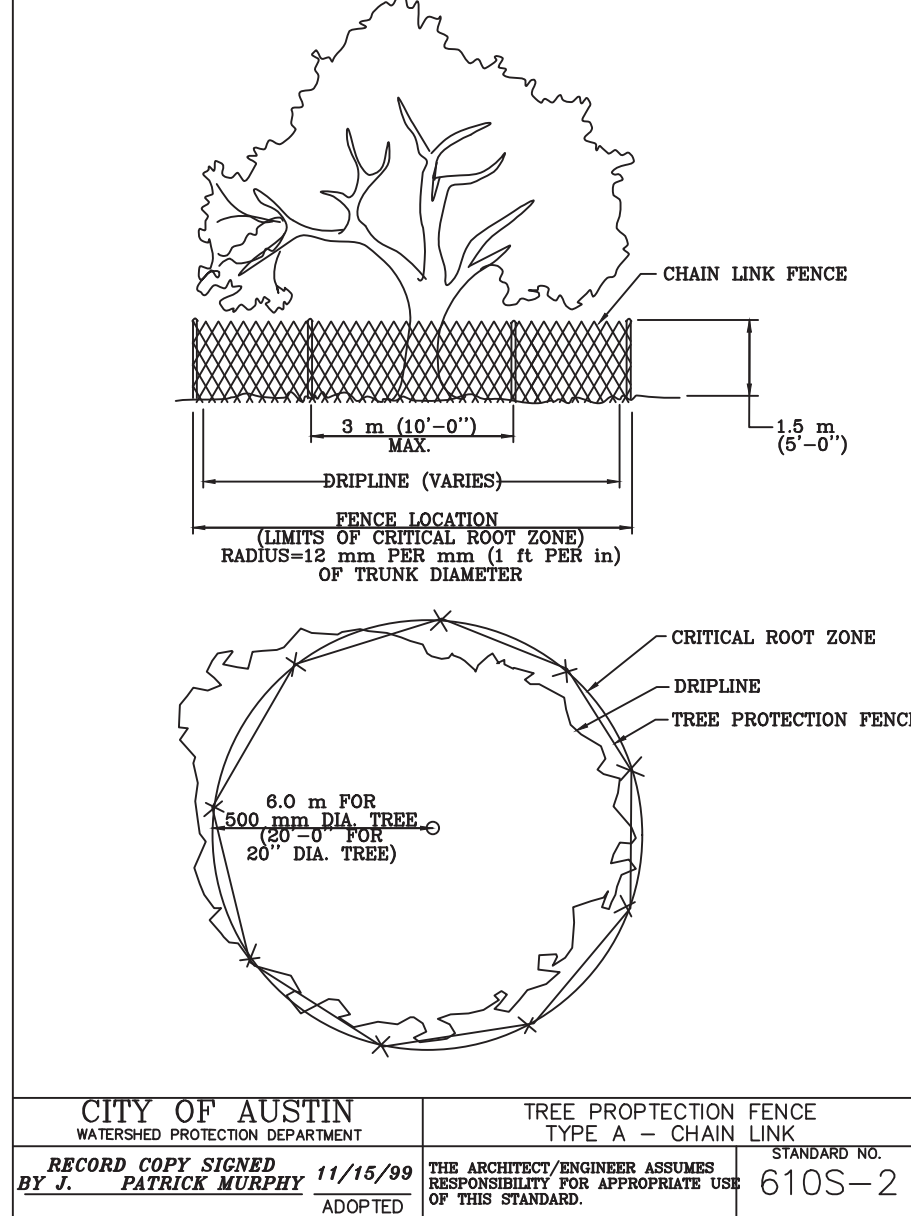
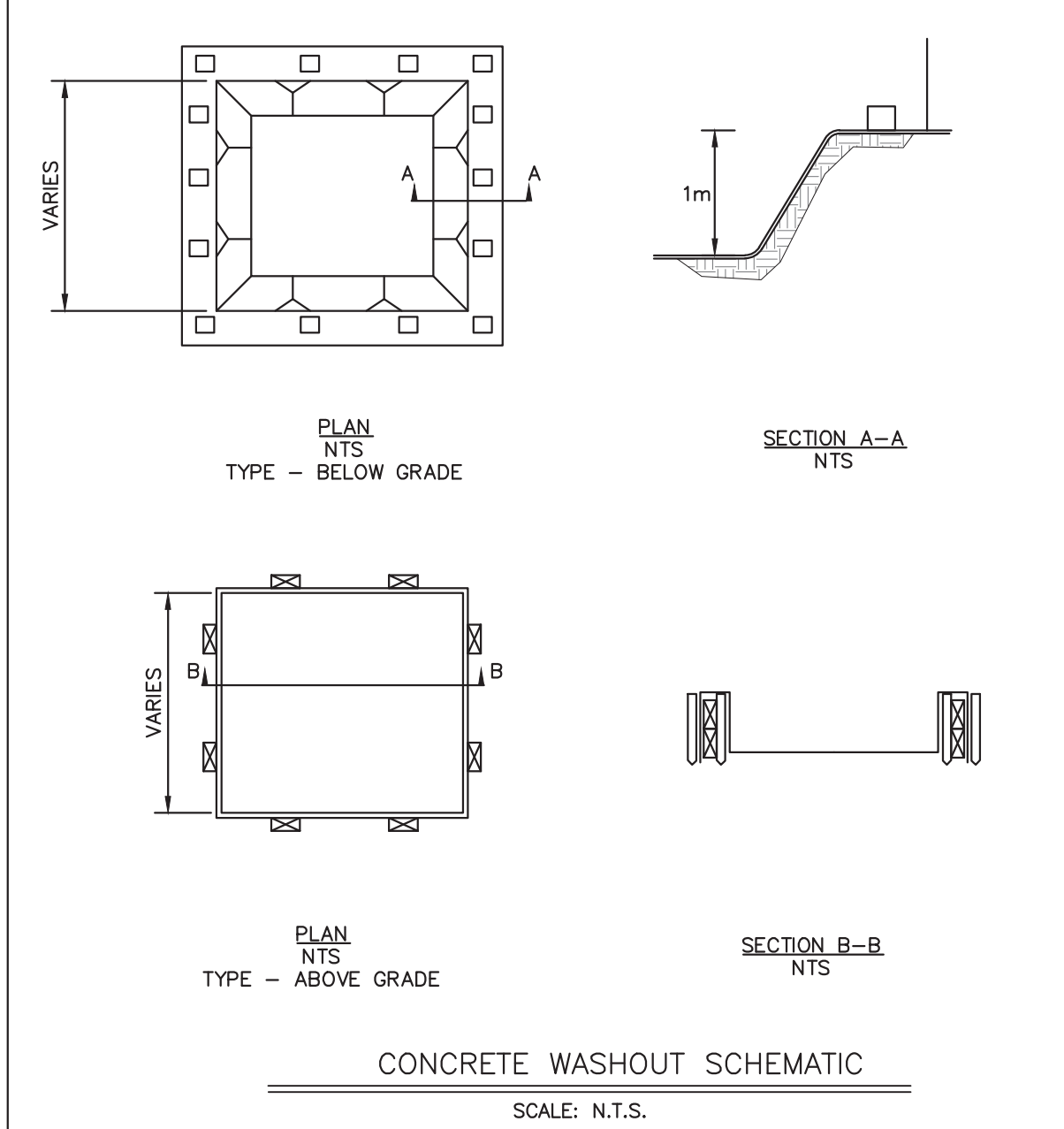
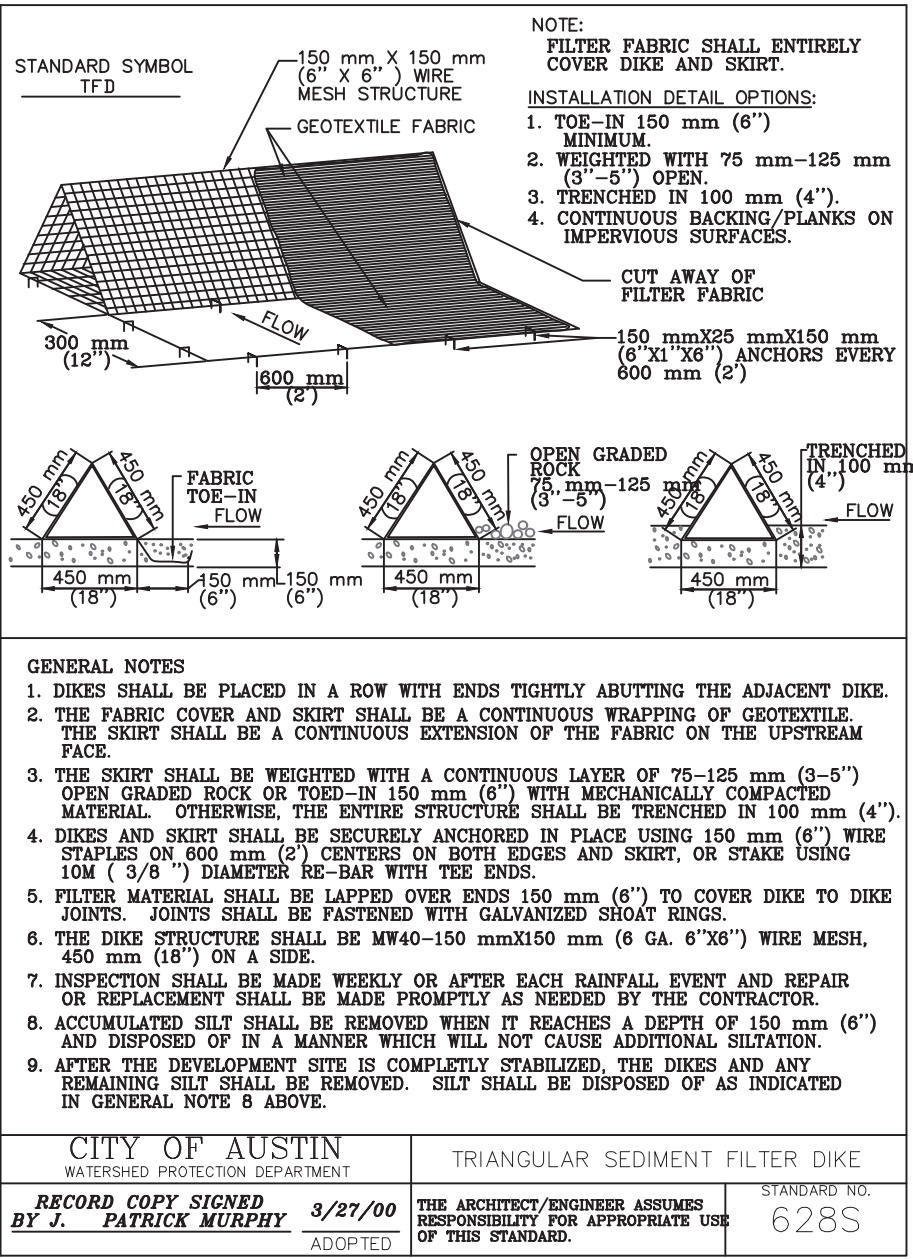
WHOLE FOODS EXPANSION
HILL COUNTRY GALLERIA
BEE CAVE, TEXAS

OVERALL WATERLINE
LAYOUT

Scale: AS SHOWN
Designed by:
Drawn by:
Checked by:
Date: MAY 2023
Project No.

SHEET
11

LET: J:\Projects\2023\230525 WHOLE FOODS EXPANSION\OVERALL WATERLINE.dwg, LAYOUT: 01, PLOT DATE: 5/26/2023, 9:17am, PLOTTED BY: mreed
PREFS: >1200, ALTA, BANSHEET, W, JACO EAST UTILITIES, W, 380 EAST



WHOLE FOODS EXPANSION
HILL COUNTRY GALLERIA
BEE CAVE, TEXAS

CONSTRUCTION DETAILS
SHEET 1

Scale: AS SHOWN
Designed by:
Drawn by:
Checked by:
Date: MAY 2023
Project No.

SHEET
12

360 PROFESSIONAL SERVICES, INC.

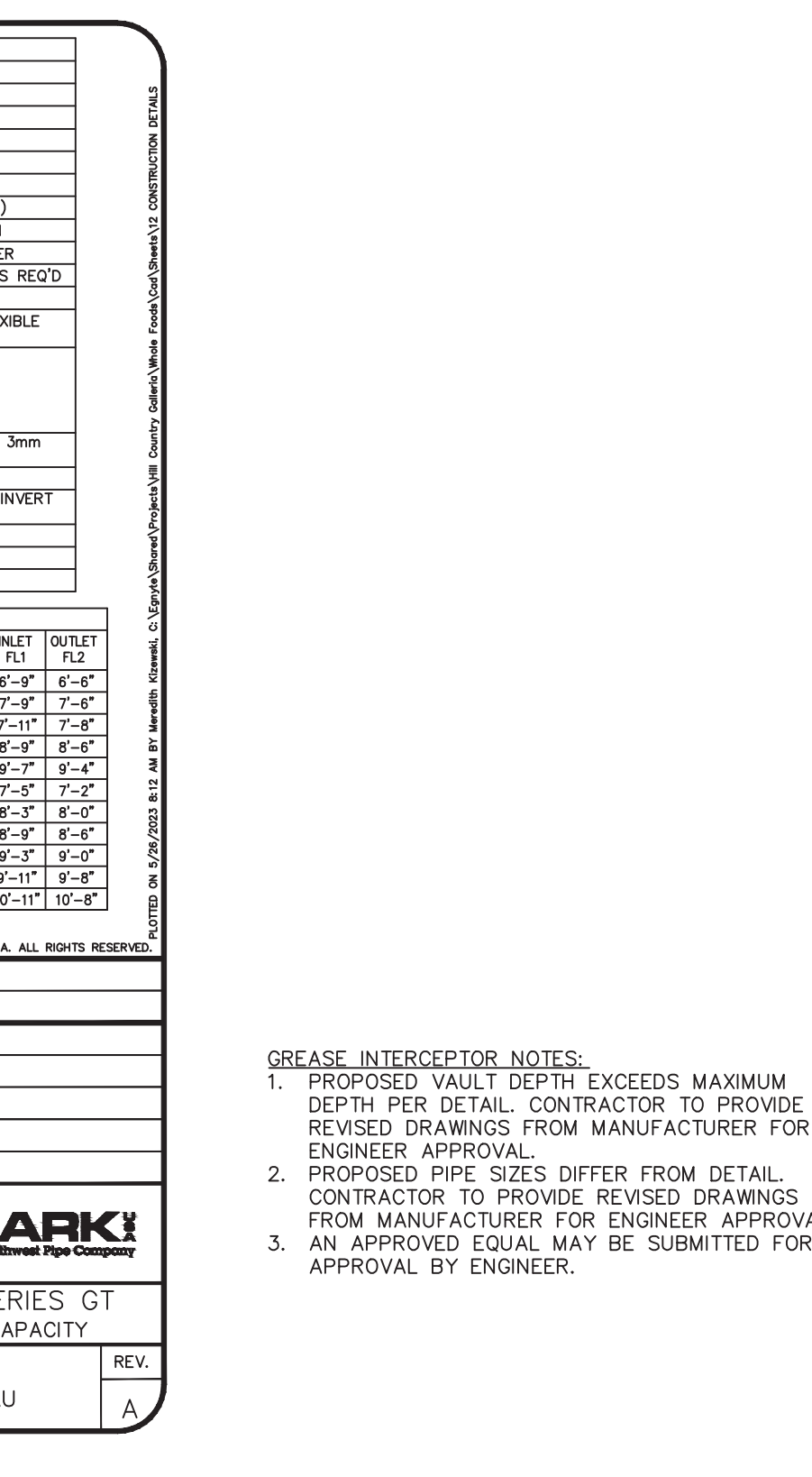
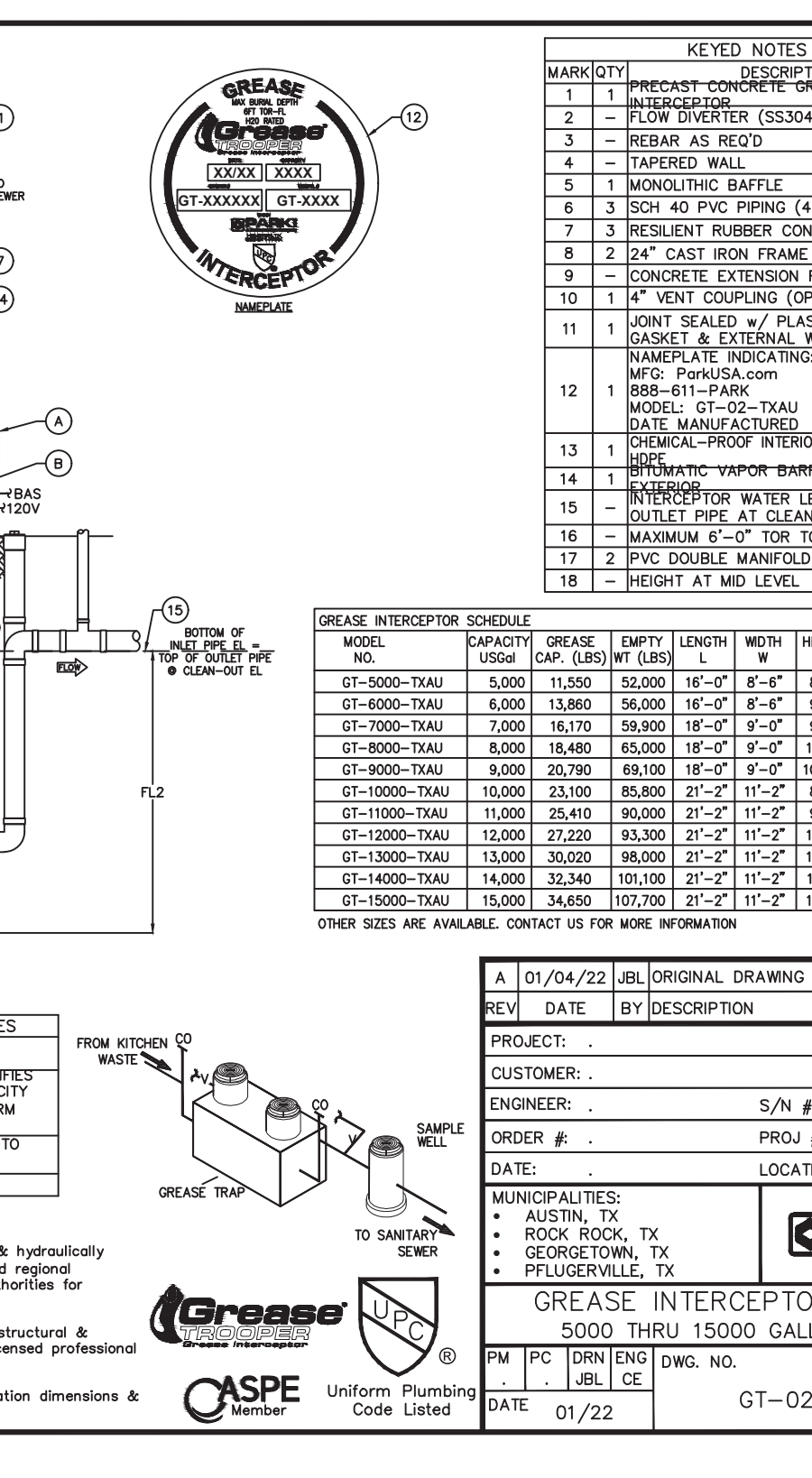
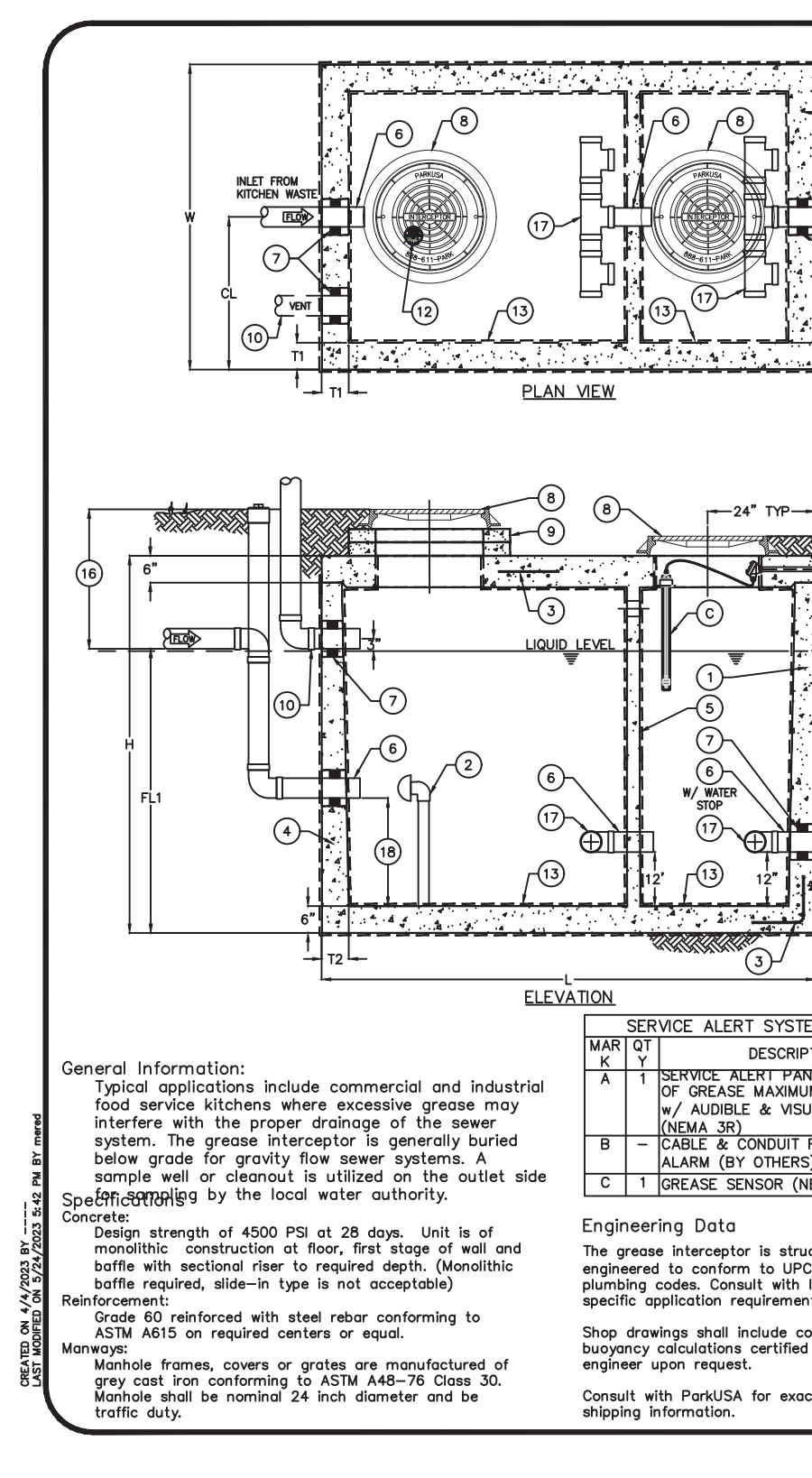
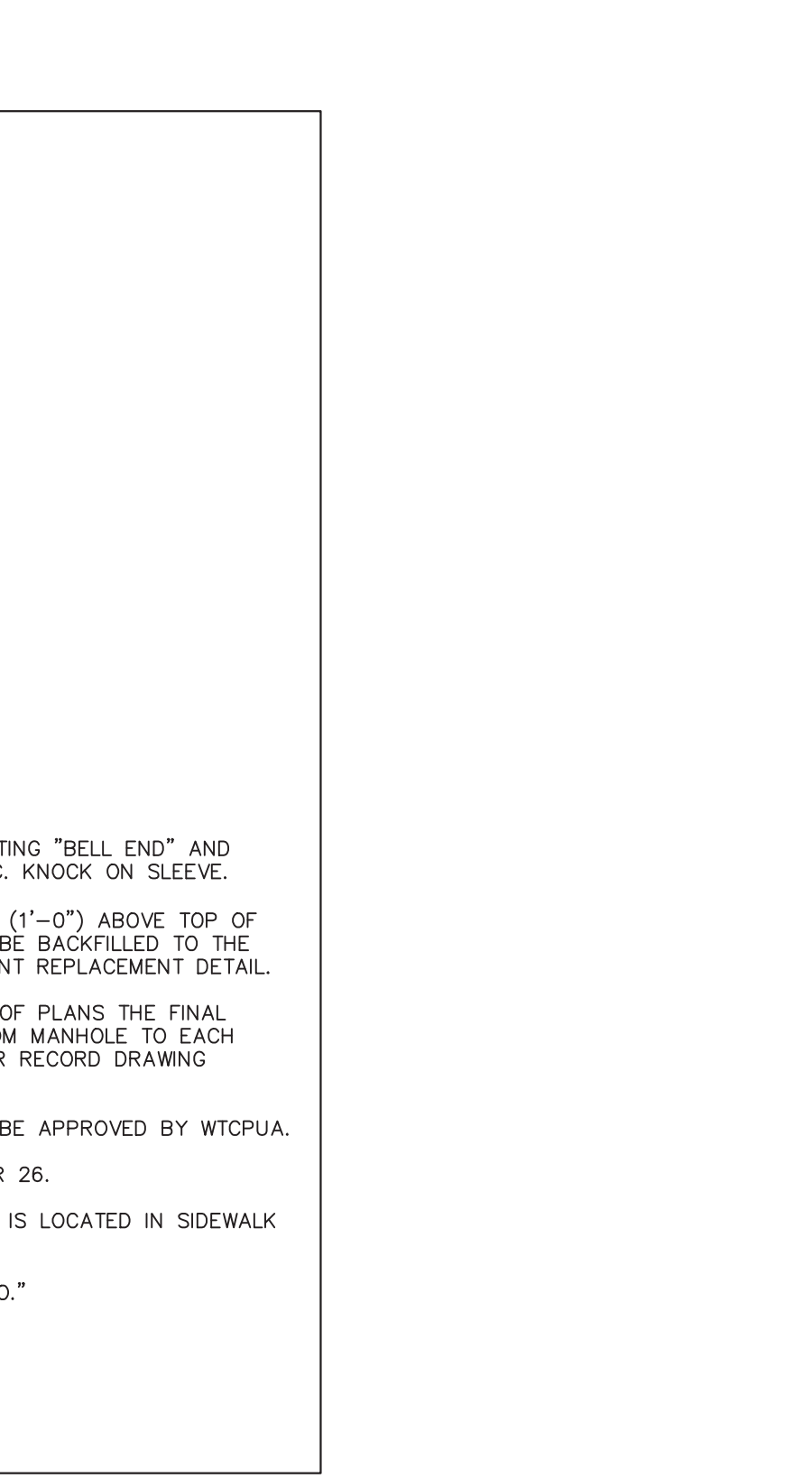
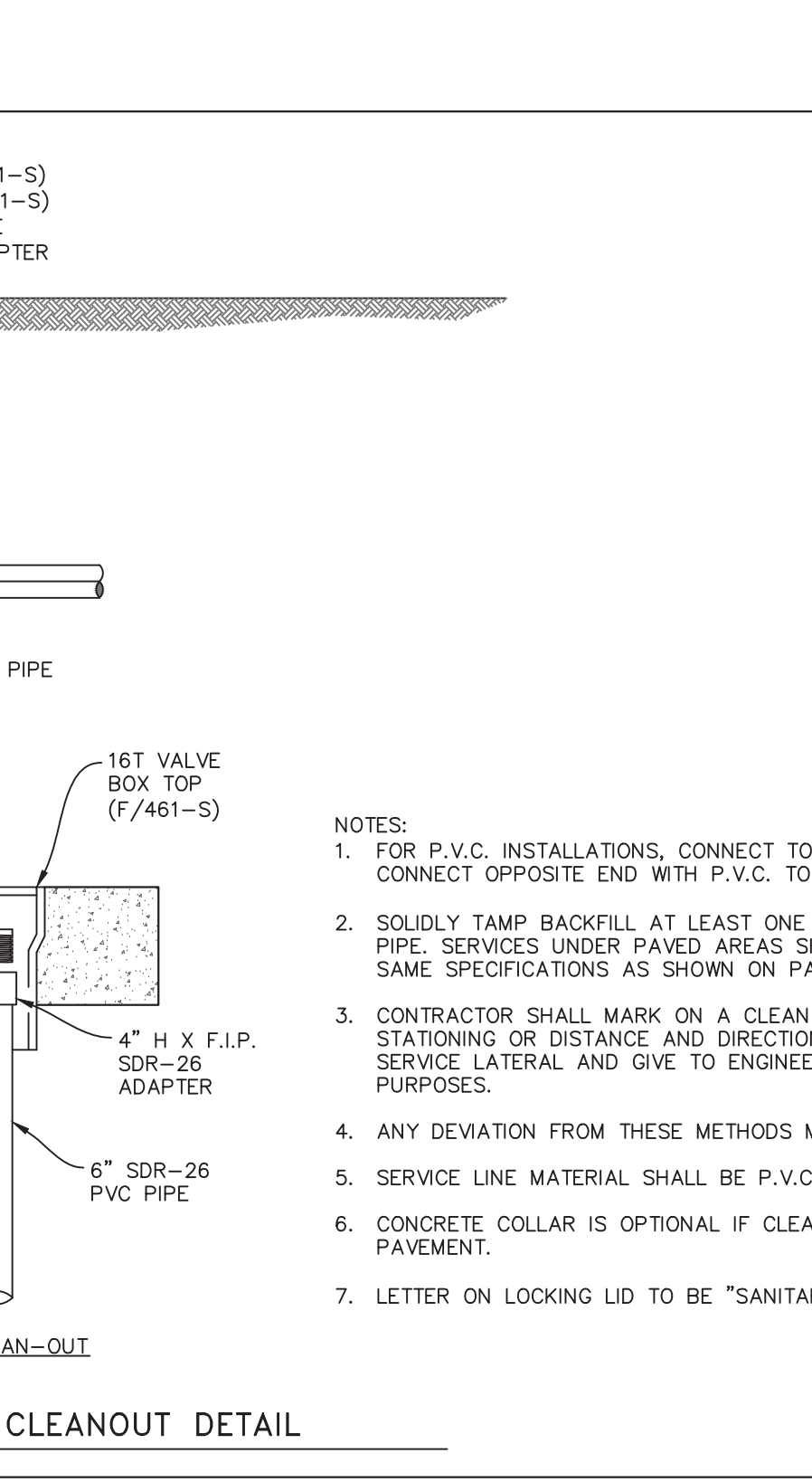
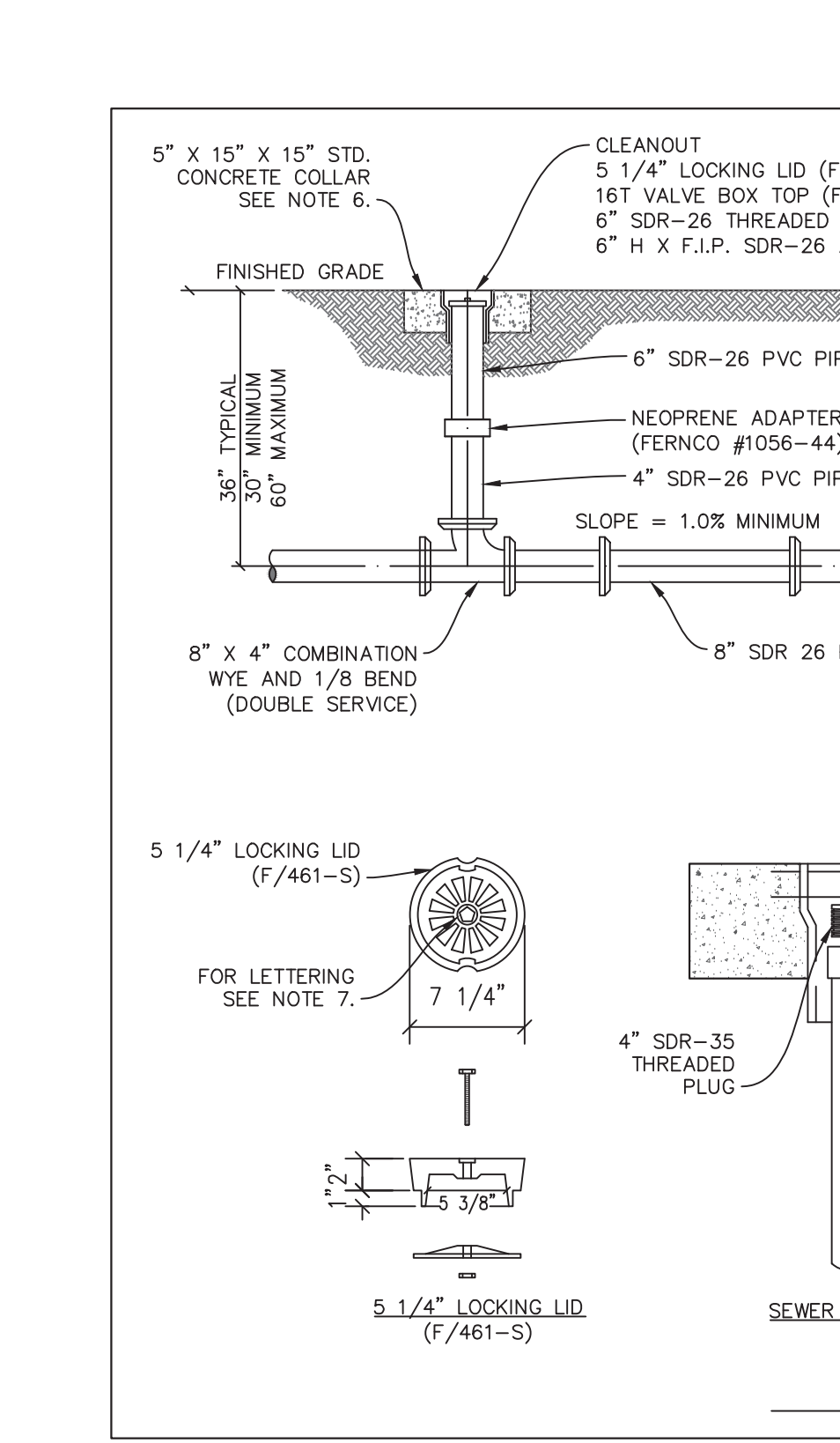
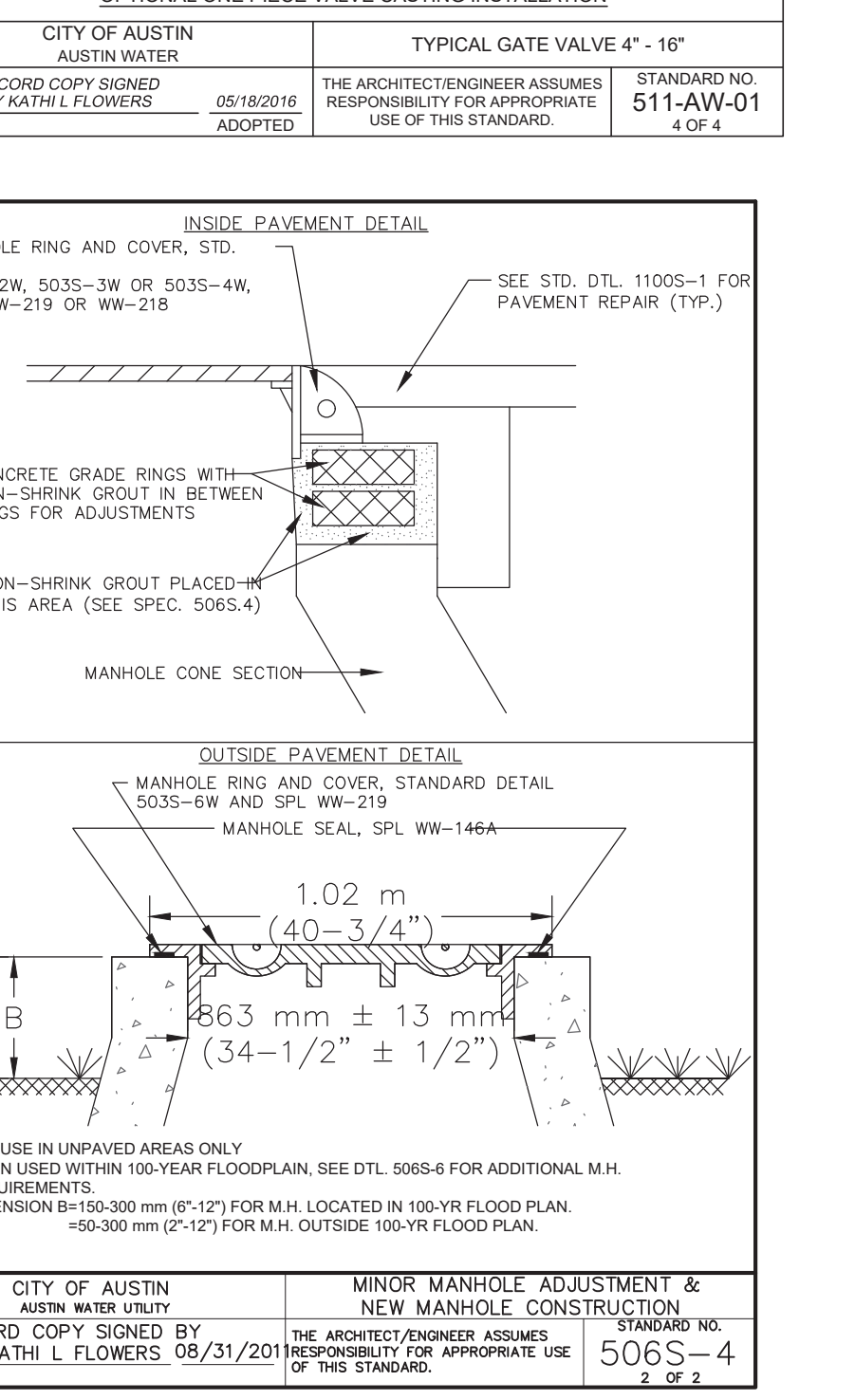
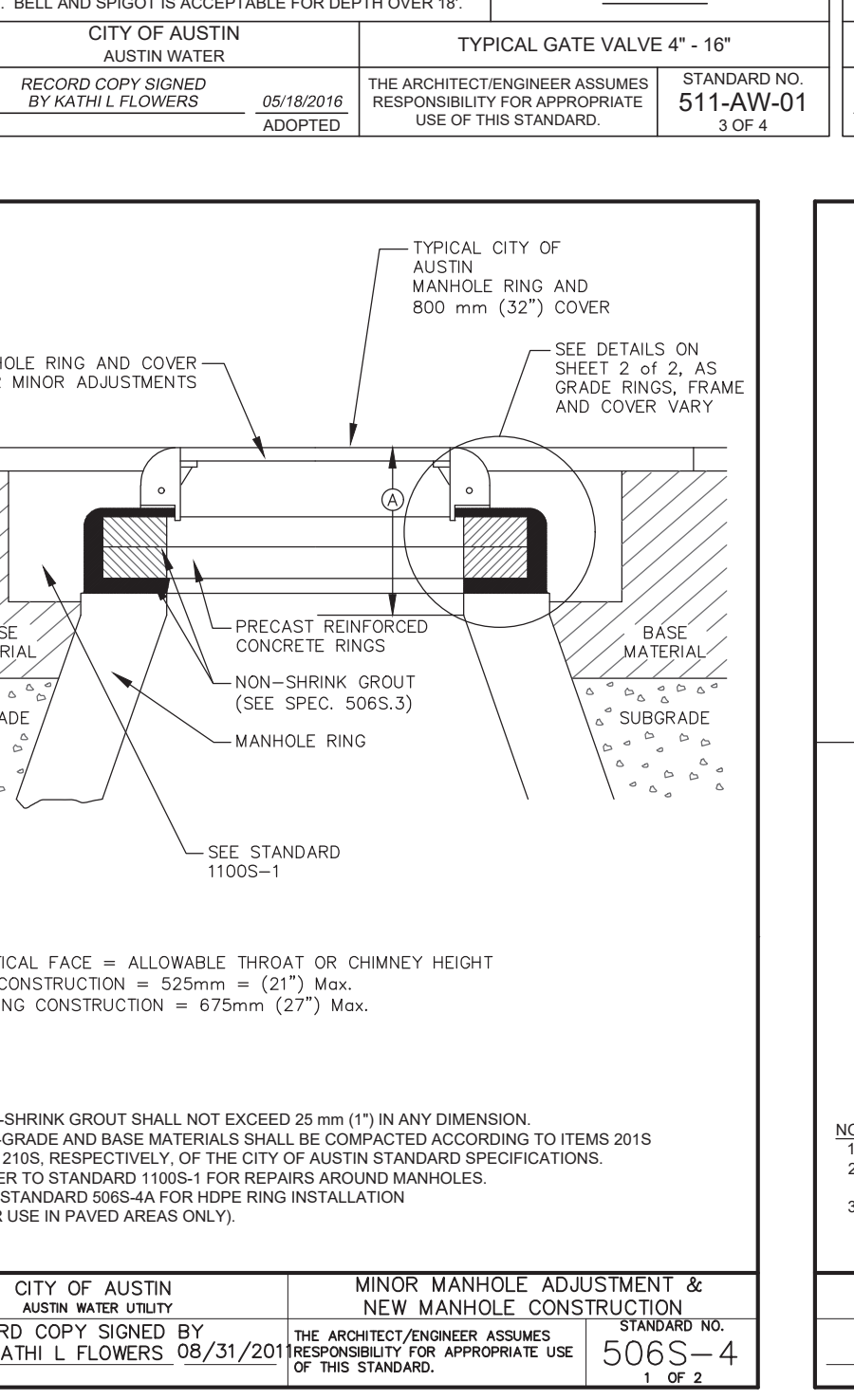
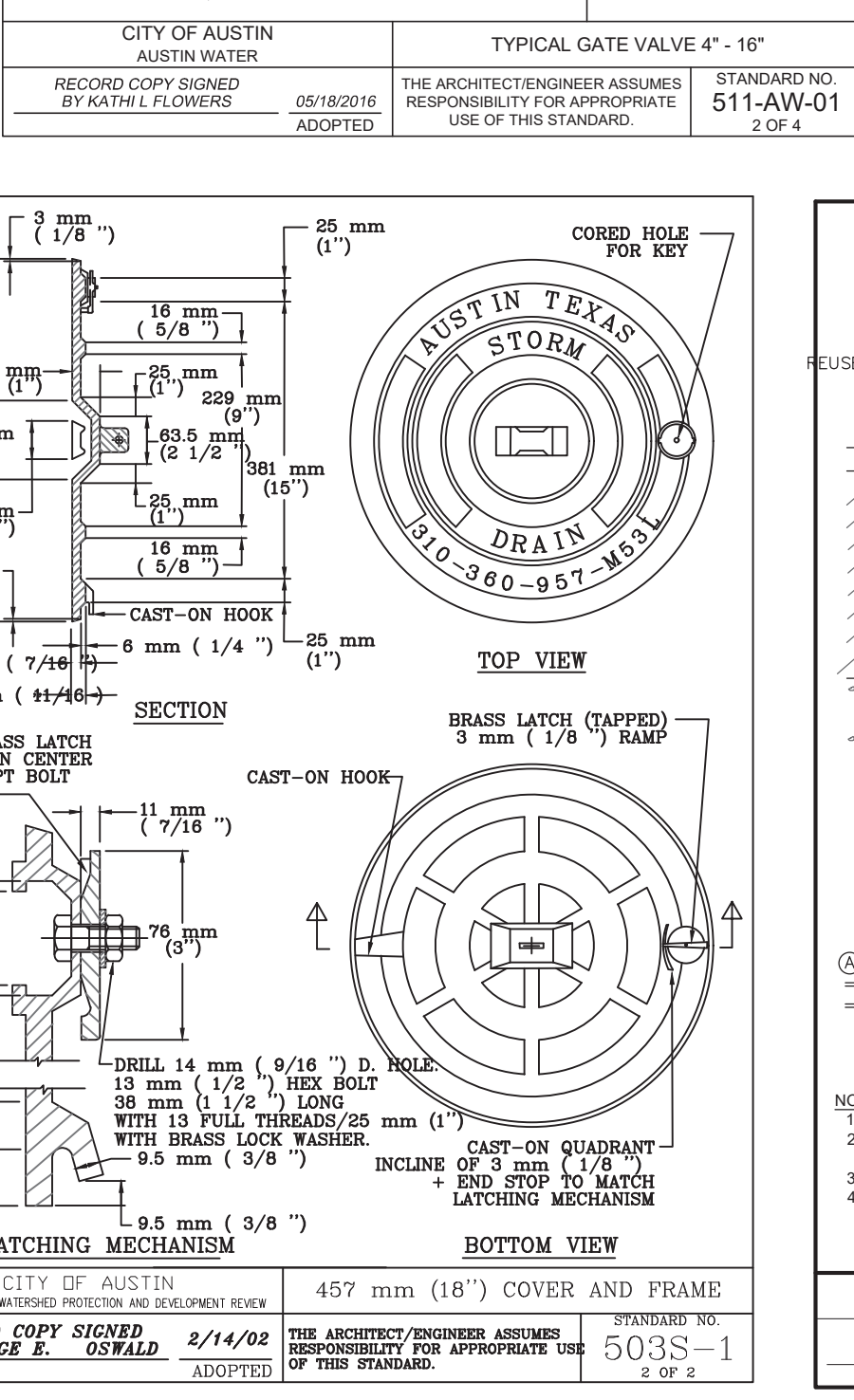
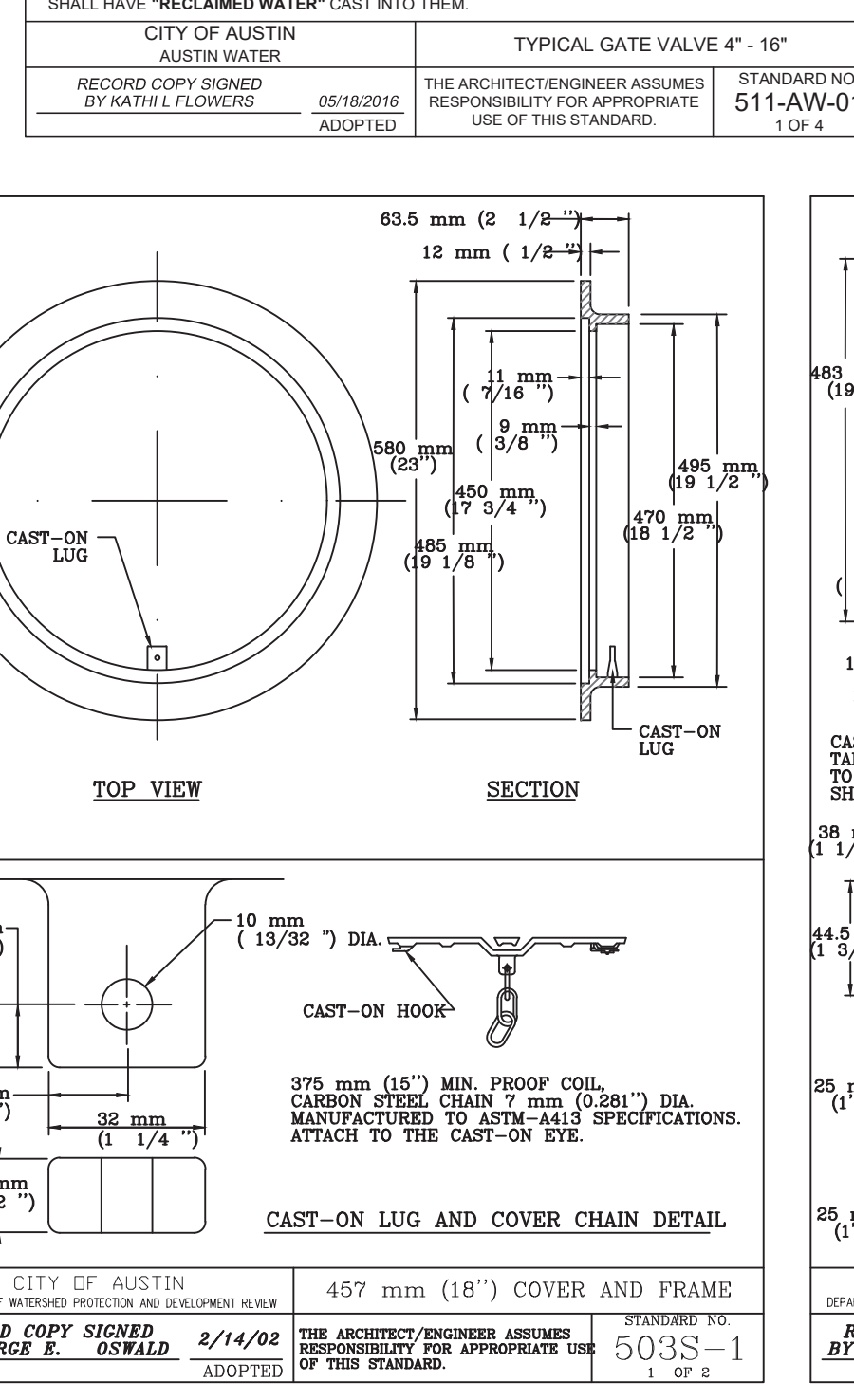
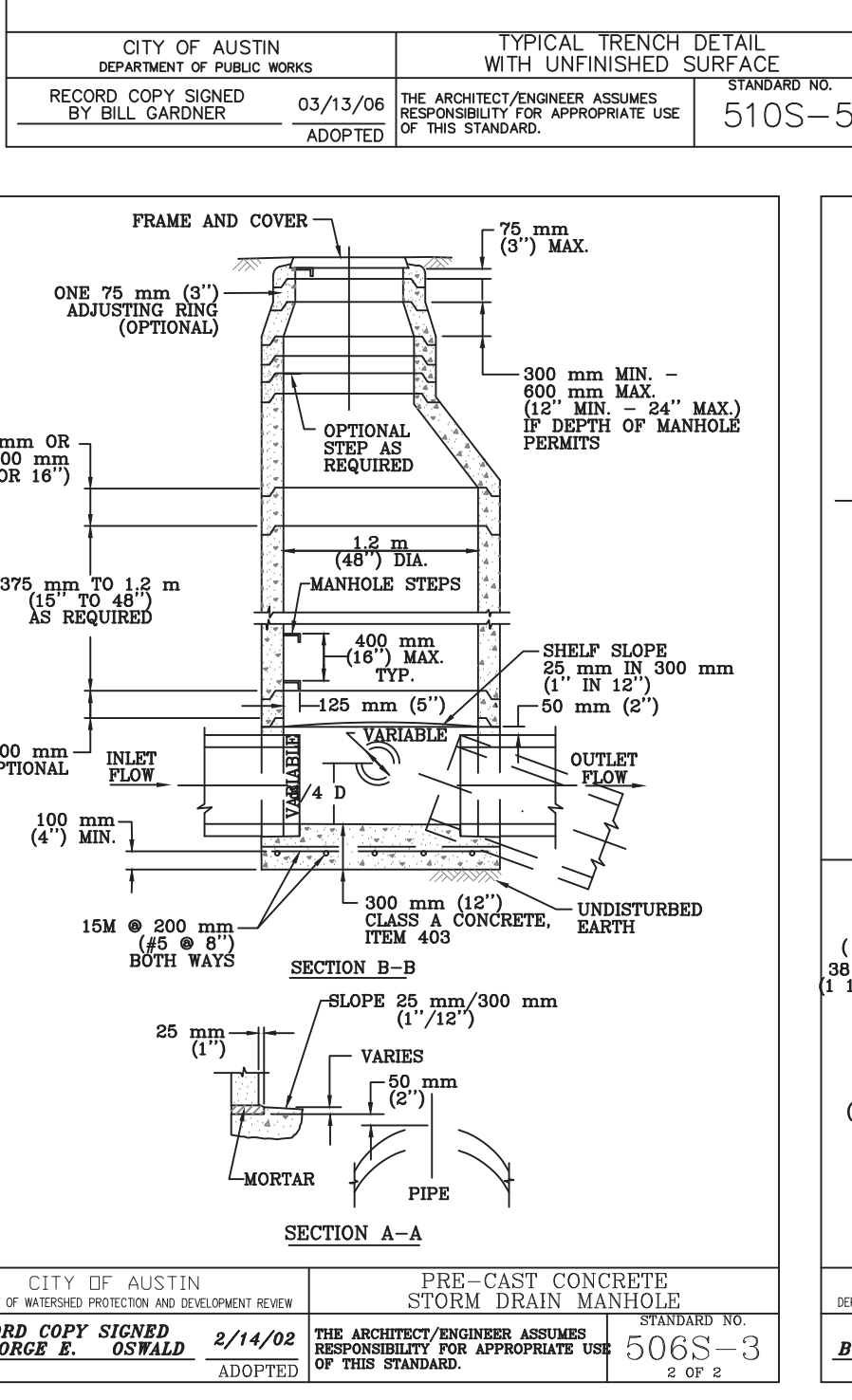
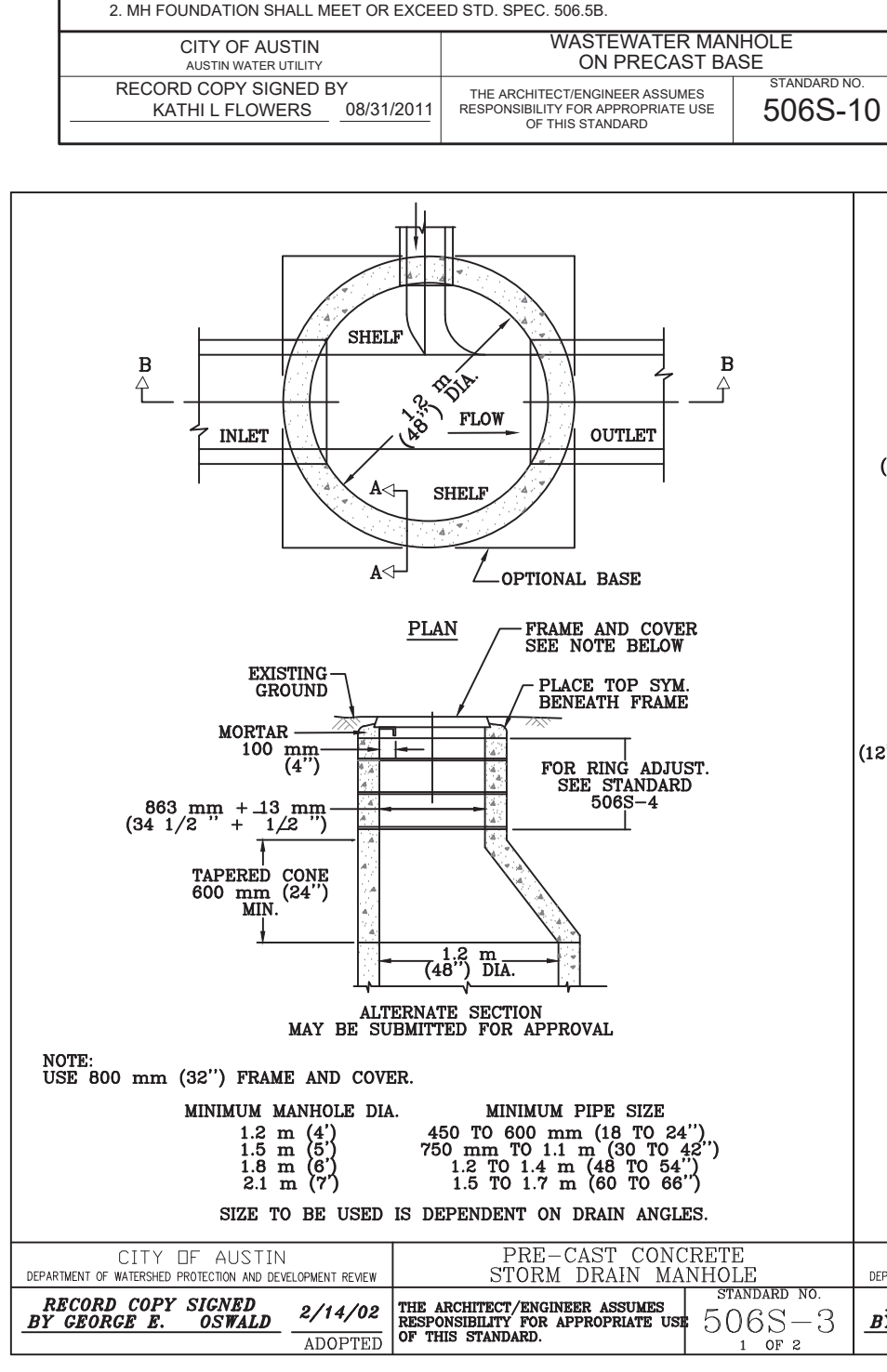
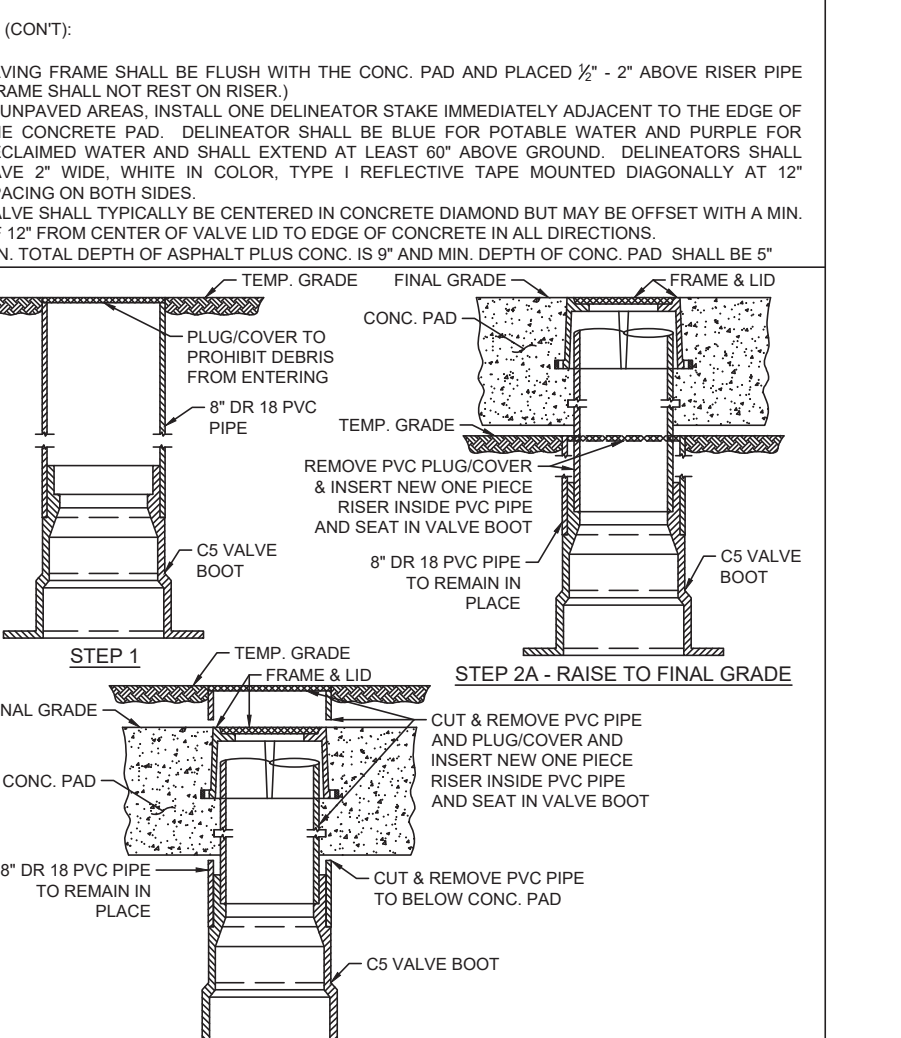
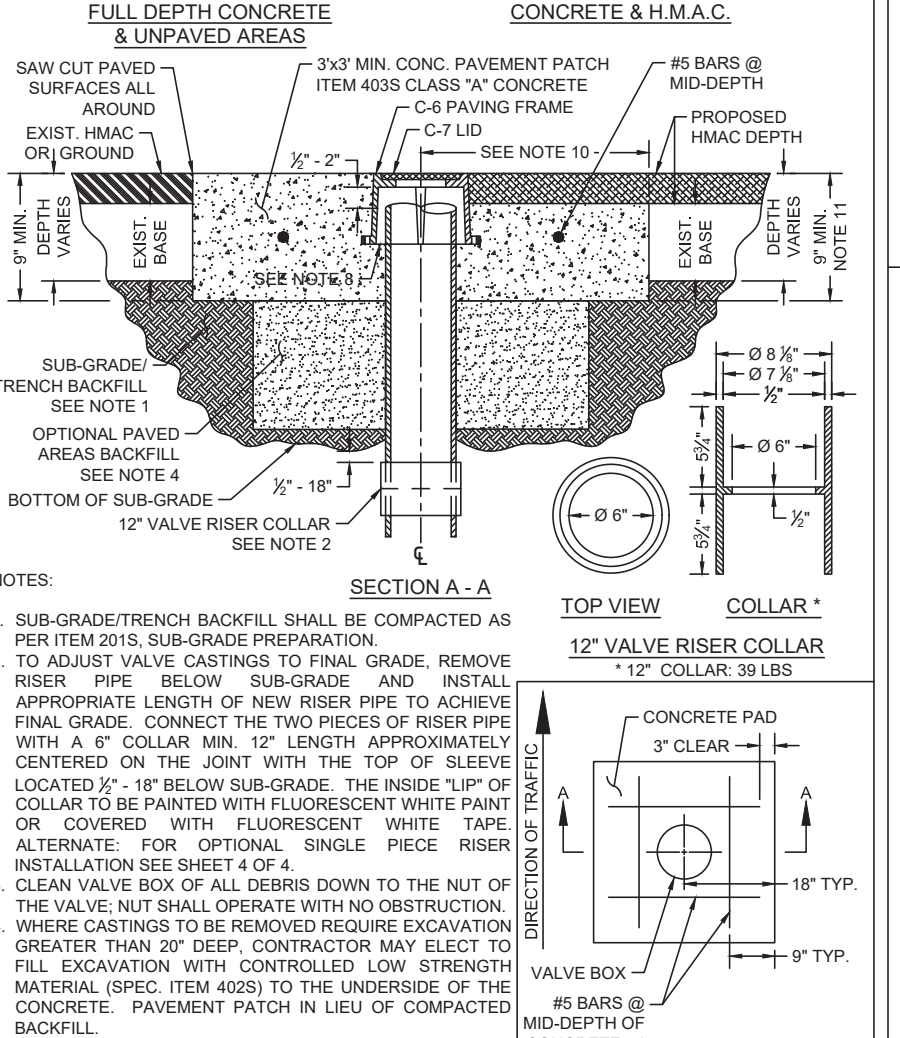
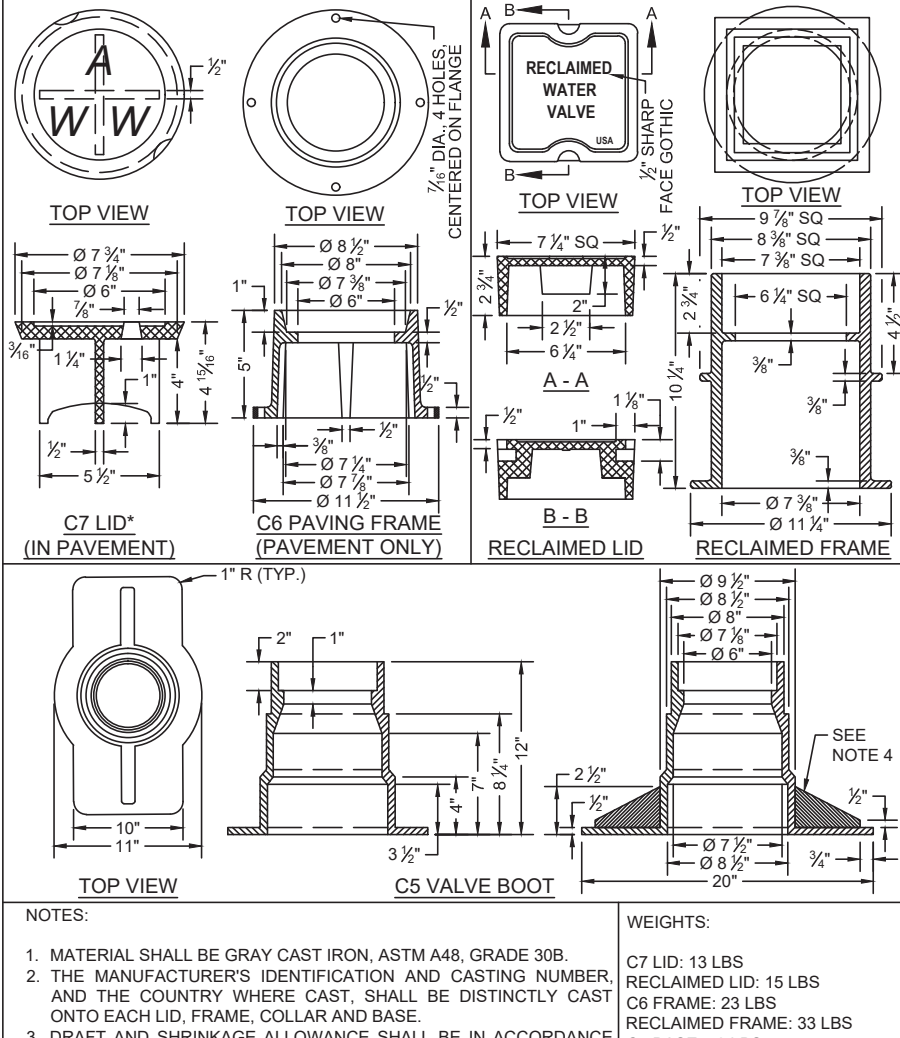
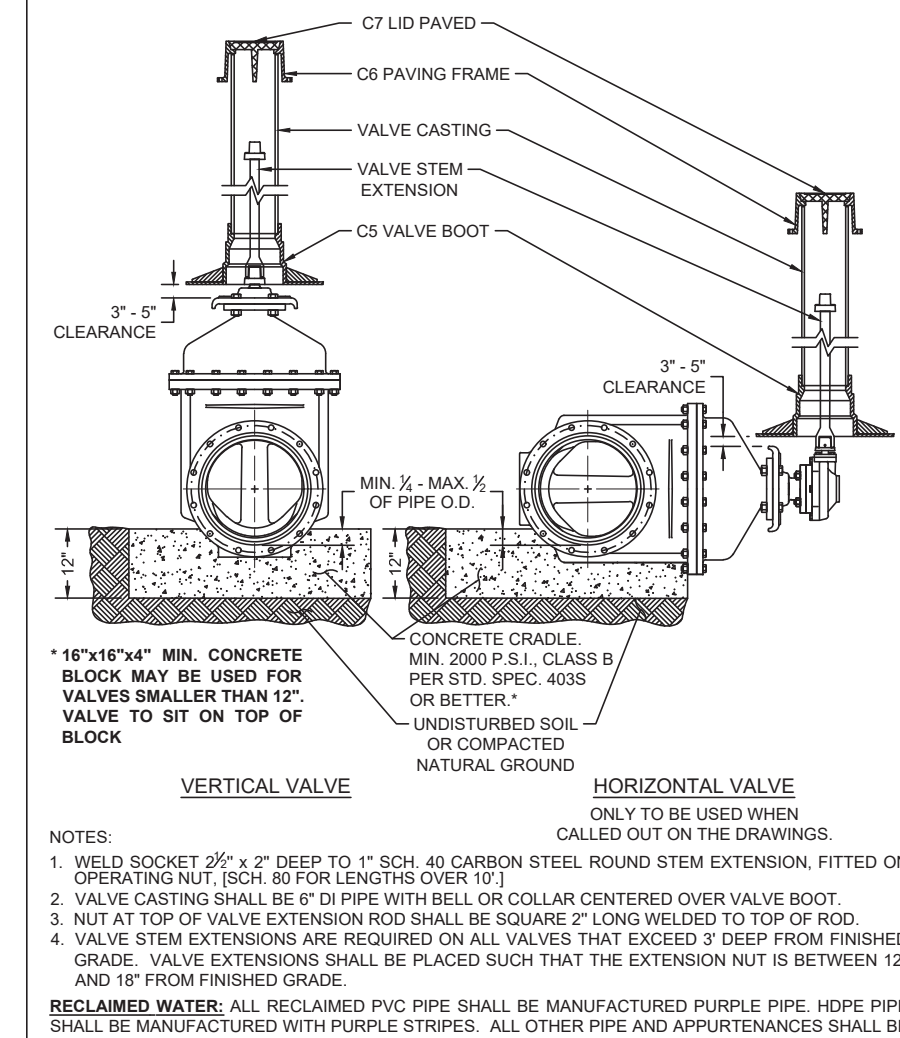
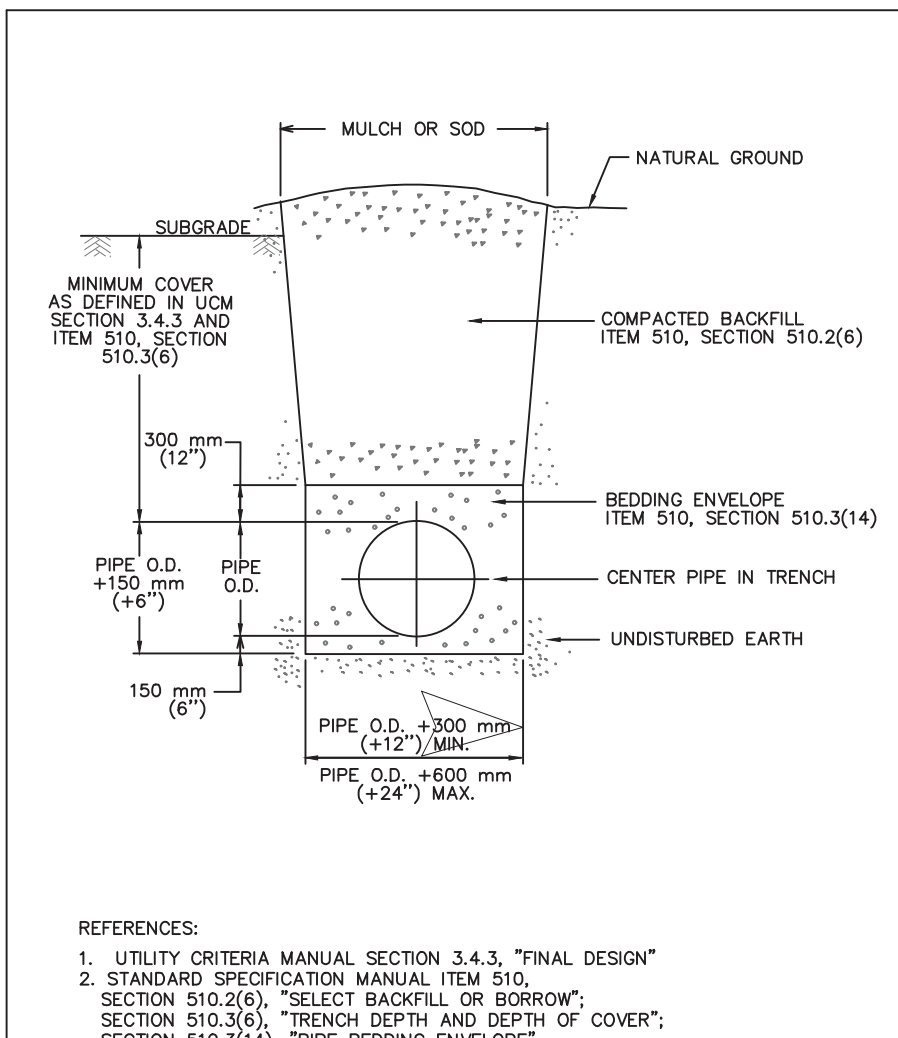
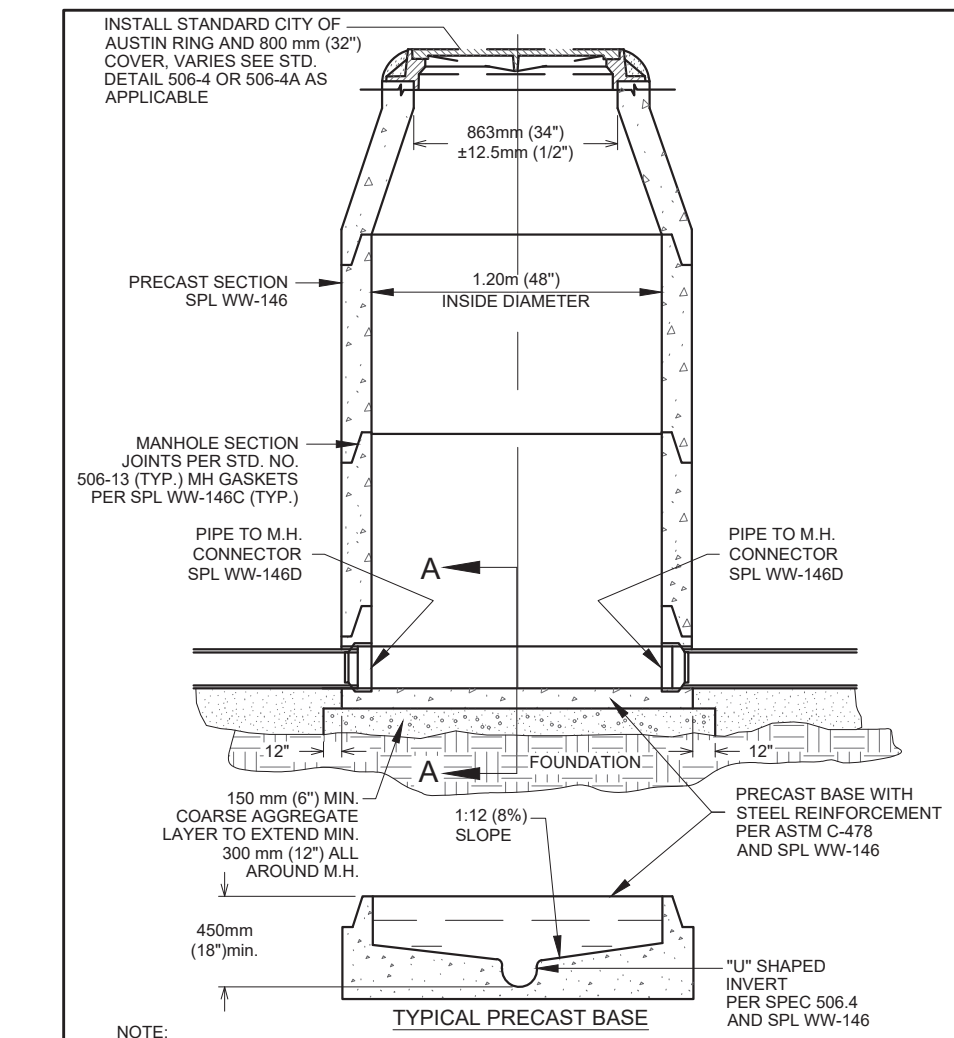
SCOTT J. FOSTER
84652
LICENSED PROFESSIONAL ENGINEER
9/29/2023

TEXAS FIRM REGISTRATION #4932
P.O. BOX 3639
CEDAR PARK, TEXAS 78630
TEL: (512) 800-7862
FAX: (512) 800-7862

APP.

Revisions

No. Date



PRELIMINARY:
NOT FOR
REGULATORY
APPROVAL,
PERMITTING,
OR CONSTRUCTION

WHOLE FOODS EXPANSION

CBRE

12801 Hill Country Boulevard
Bee Cave, TX

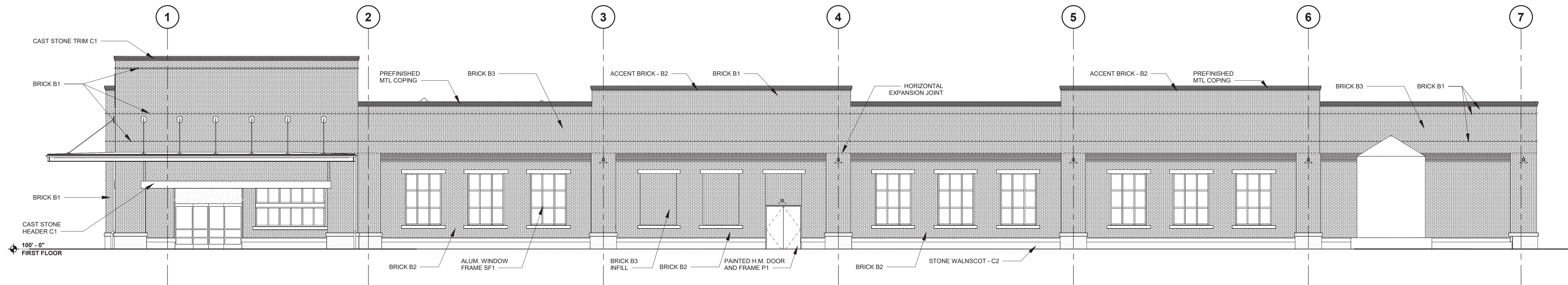
Date
04/20/2023
Revisions

Drawings and written material appearing
herein constitute original and unpublished
work of the architect and may not be
duplicated, used, or disclosed without
written consent of the architect.

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Project No.
23012

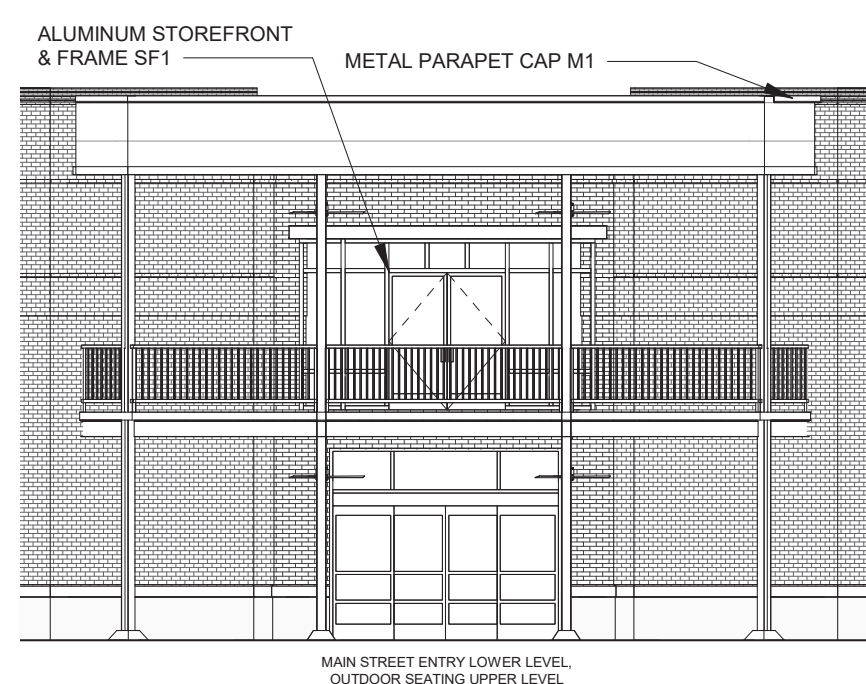
A301
EXTERIOR ELEVATIONS
- EXISTING



05 SOUTH ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"

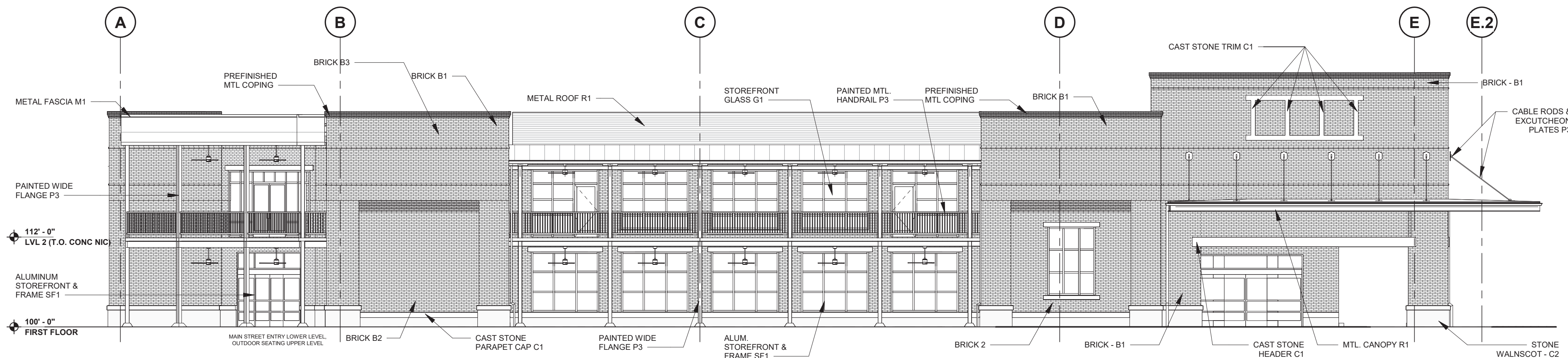
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04 MAIN STREET ENTRY

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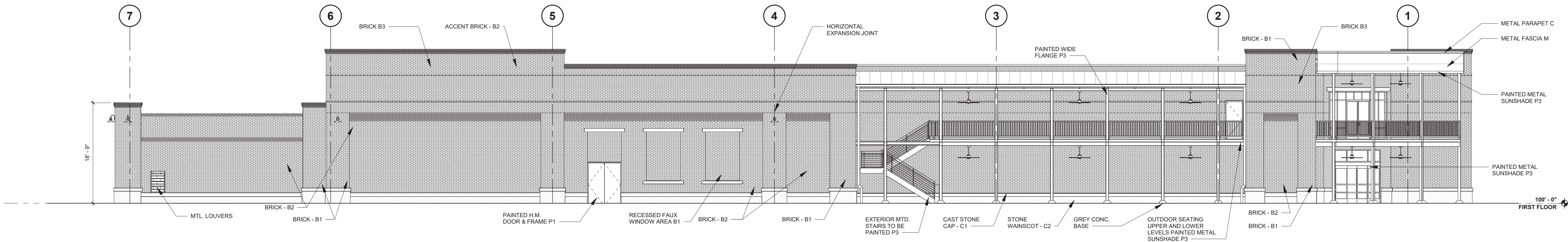
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03 WEST ELEVATION - EXISTING

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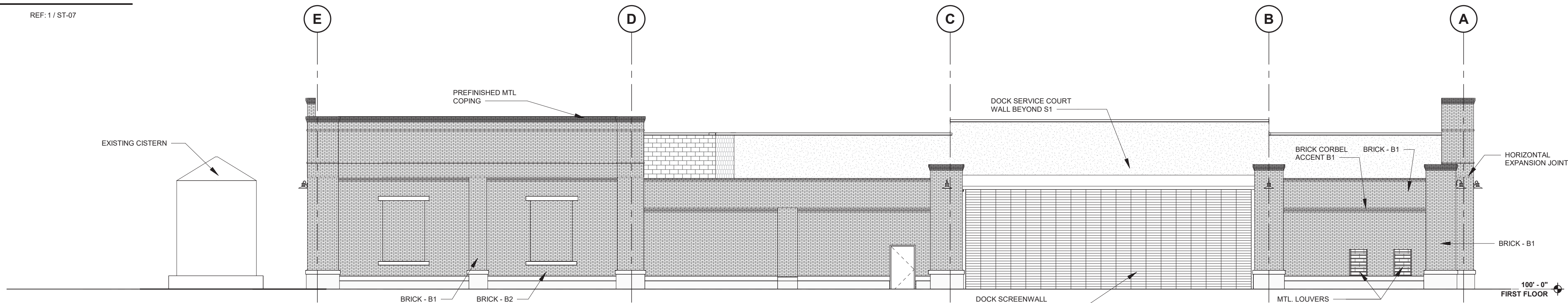
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02 NORTH ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"

REF: 1 / ST-07



01 EAST ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"

REF: 1 / ST-07

PRELIMINARY:
NOT FOR
REGULATORY
APPROVAL,
PERMITTING,
OR CONSTRUCTION

WHOLE FOODS EXPANSION

CBRE

12801 Hill Country Boulevard
Bee Cave, TX

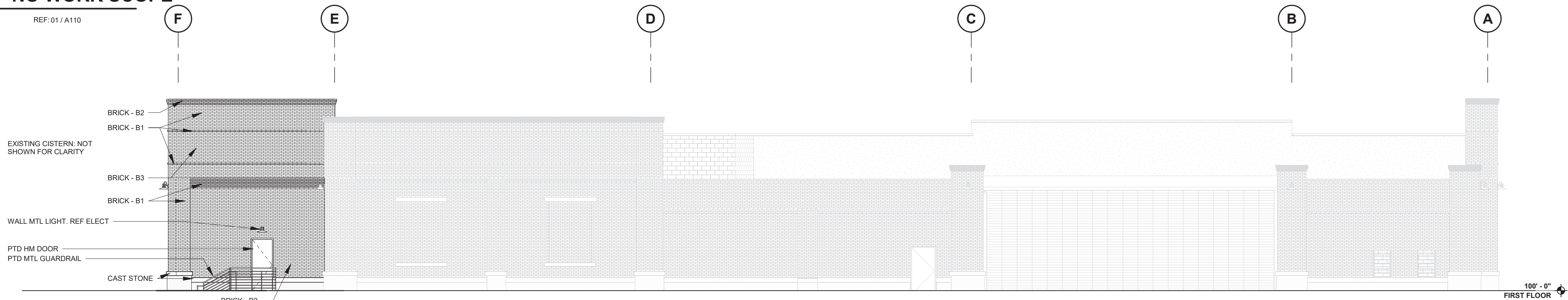
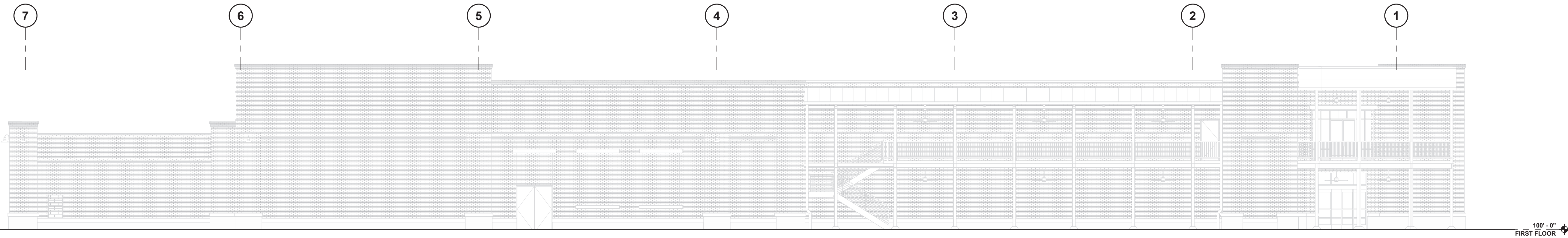
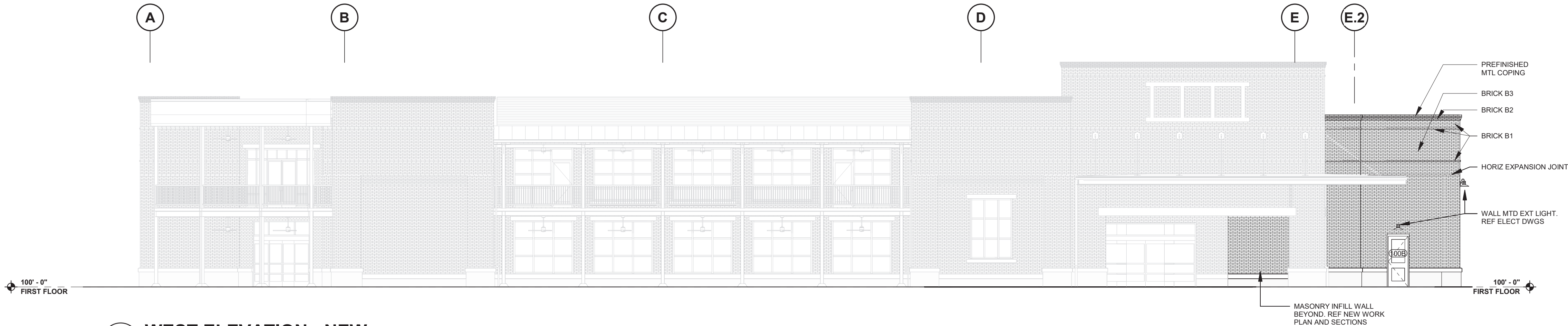
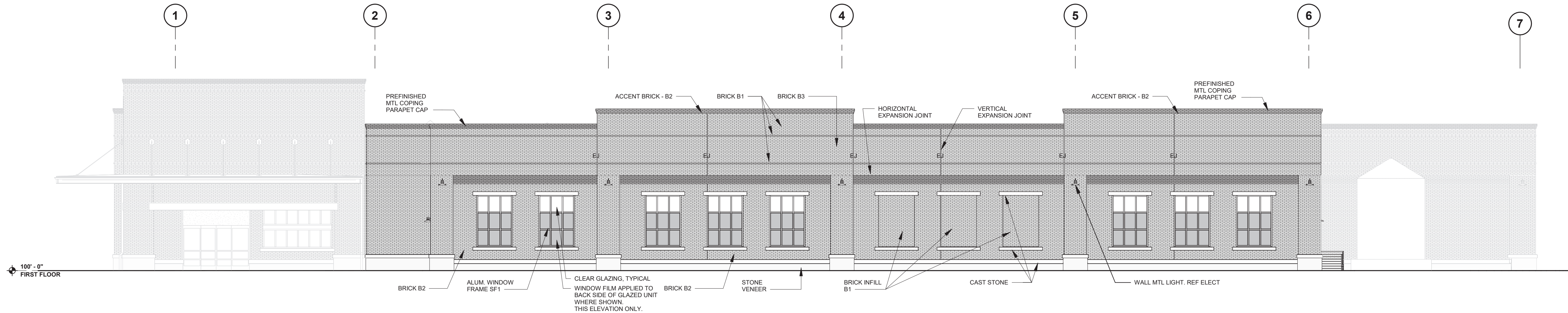
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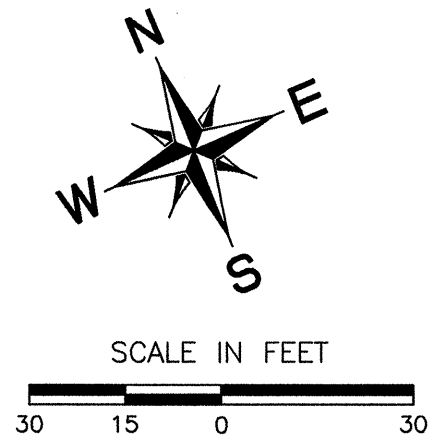
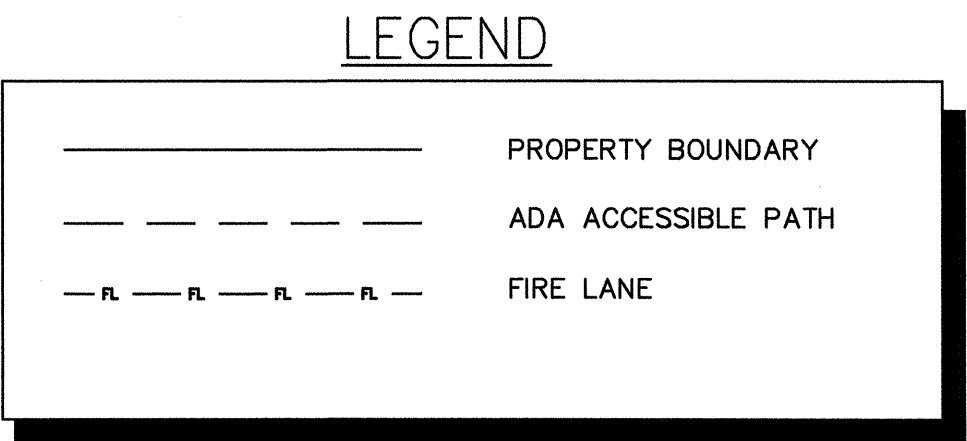
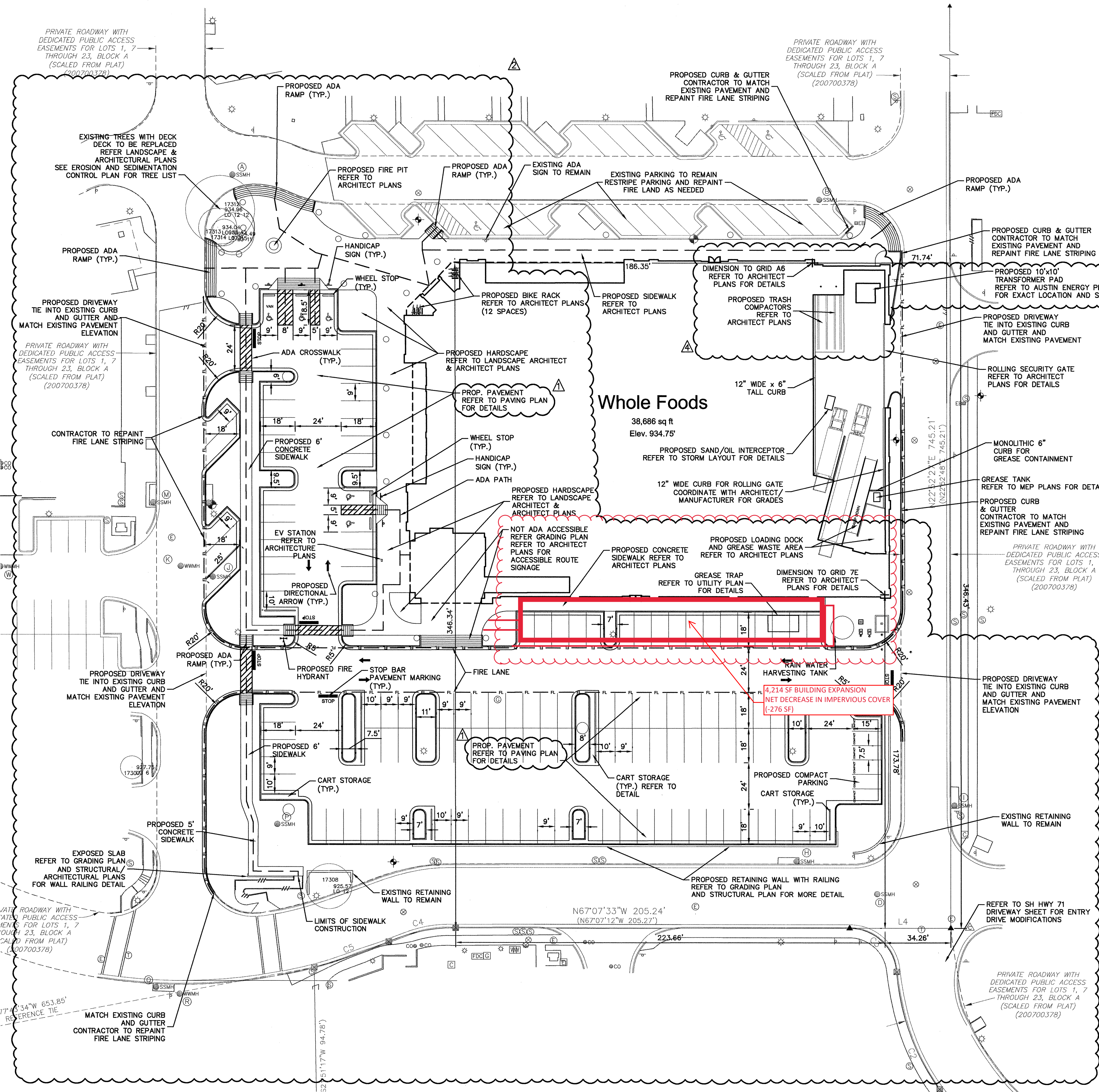
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Project No.
23012

A302
EXTERIOR ELEVATIONS
- NEW



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SITE DATA

	SUMMARY	
	EXISTING	PROPOSED
Zoning	PDD	PDD
Gross Site Area (ac) - Lot 1, Block A	57.5	57.5
Site Area (ac) - Whole Foods Project Limits	3.4	3.4
Total Building Square Footage	0	38,686

PROPOSED BUILDING INFORMATION

Total Building Square Footage (gross floor area)	38,686 SF
Number of Stories	2
Ground Floor Square Footage	33,367 SF
Second Floor Square Footage	5,319 SF

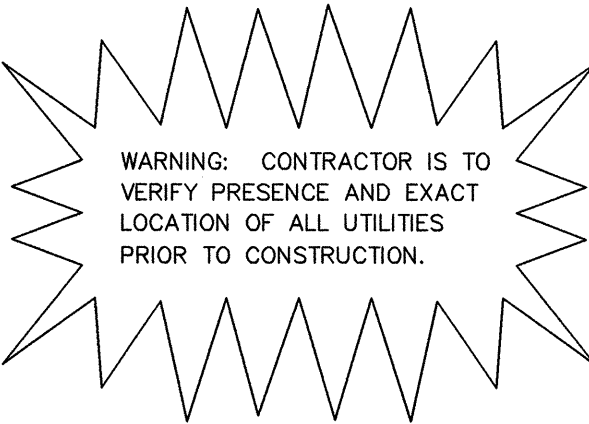
GENERAL NOTES:

1. CONTRACTOR TO HAVE STAKING VERIFIED BY OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. EVERY HANDICAP ACCESSIBLE PARKING SPACE MUST BE MARKED BY A SIGN, CENTERED 5 FEET ABOVE THE PARKING SURFACE, AT THE HEAD OF THE PARKING SPACE. THE SIGN MUST INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND STATE "RESERVED", OR EQUIVALENT LANGUAGE. SUCH SIGNS MUST NOT BE OBTAINED BY A VEHICLE PARKED IN THE SPACE. UBC, 3107 (C); ANSI A117.1-1986-4.6.2.
3. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL FIRE DEPARTMENT ACCESS DRIVES/ROADS TO HAVE A MINIMUM 14' VERTICAL CLEARANCE.
5. ALL RADII TO BE 3' UNLESS OTHERWISE NOTED.
6. ALL PARKING SPACES ARE 9.0' WIDE x 18.0' DEEP, UNLESS OTHERWISE NOTED.
7. ALL CONCRETE SIDEWALKS TO BE ADA ACCESSIBLE.
8. ALL PARKING SPACES SHALL HAVE MINIMUM 7'-0" VERTICAL CLEARANCE.
9. WARNING SIGNS ARE REQUIRED TO BE PLACED UNDER THE OVERHEAD ELECTRIC LINES TO MAKE ALL PERSONNEL AWARE OF THE ELECTRIC HAZARD.
10. REFERENCE ARCHITECTURAL/STRUCTURAL PLANS FOR FINAL DIMENSIONS OF BUILDINGS.
11. WHEELSTOPS TO BE LOCATED ON ALL PARKING SPOTS TERMINATING INTO RIBBON CURB.
12. SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP.
13. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION IS 1:12. THE MAXIMUM RISE FOR ANY RAMP RUN IS 30 IN.
14. ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50.
15. PAVEMENT SECTIONS TO MATCH EXISTING PAVEMENT SECTIONS.
16. ESTABLISH FIRE ZONES AS SHOWN ON SITE BY PAINTING CURB RED. STENCIL THE WORDS "FIRE ZONE/TOW-AWAY ZONE" IN WHITE LETTERS 4 INCHES HIGH AT 35-FOOT INTERVALS ALONG THE CURB. ALSO, SIGNS SHALL BE POSTED AT BOTH ENDS OF A FIRE ZONE. ALTERNATE MARKING OF THE FIRE LANES MAY BE APPROVED BY THE FIRE CHIEF, PROVIDED THE FIRE LANES ARE CLEARLY IDENTIFIED AT BOTH ENDS AND AT INTERVALS NOT TO EXCEED 35 FEET.
17. REFER TO PAVING PLAN FOR PAVING DETAILS.
18. PAINT STRIPING TO BE WHITE FOR REGULAR PARKING SPACES AND BLUE FOR HANDICAP ACCESSIBLE SPACES UNLESS ALTERNATE IS APPROVED BY OWNER/DEVELOPER.
19. REFER TO THE OVERALL SITE PLAN CALCULATIONS SHEET FOR IMPERVIOUS COVER AND PARKING TABLES.
20. REFERENCE ARCHITECTURAL PLANS FOR LOCATIONS OF SITE SIGNAGE.

NOTE: THE PLATTED DIMENSIONS OF LOTS 1 AND 14 (PLAT 200700378, DEPICTED HEREON) DO NOT FORM MATHEMATICALLY CLOSED FIGURES.

BENCHMARK INFORMATION:

- TBM #1: SQUARE SCRIBED SOUTH CORNER OF INLET, 5' NORTH OF A LIGHT POLE, AS SHOWN HEREON. ELEVATION = 934.53'
- TBM #2: SQUARE SCRIBED ON TOP OF CURB ANGLE POINT, 19' NORTHWEST OF A LIGHT POLE, AS SHOWN HEREON. ELEVATION = 933.40'
- VERTICAL DATUM: NAVD 88 (GEOID 09)



05/20/11 LOT 20, BLOCK A, REMOVE PERVIOUS PAVEMENT

06/10/11 AS SHOWN & AS SHOWN SITE PLAN, GRADING, DRAINAGE & UTILITY CHANGES

06/23/11 AUSTIN ENERGY & DOCK CHANGES

No. Date Revisions App.

Kimley-Horn and Associates, Inc.

10415 Mercado Circle, Building 1, Suite 300
Austin, Texas 78759
Tel. No. (512) 418-1771
Fax No. (512) 418-1791

TEXAS REGISTRATION # 928

WHOLE FOODS HILL COUNTRY GALLERIA

BEE CAVE, TX 78738

PROJECT SITE PLAN

Scale: AS SHOWN

Designed by: SNW

Drawn by: LLC

Checked by: SIF

Date: FEBRUARY 2011

Project No. 069224300

SHEET

C-06

OF 32

FILE: K:\AUS\069224300\Whole Foods-Hill Country Galleria\Site Plan\069224300-06 PROJECT SITE PLAN.dwg PLOT DATE: 7/6/2011 11:53am PLOTTED BY: stephen.wm
XREFS: 32234_survey Site proposed BEE-SHELL_sarway-Without existing site SITE UTIL EXISTING UTIL IMAGES: B110g_hnr_LW.dwg WF logos.dwg



Planning and Zoning Commission Meeting
6/20/2023
Agenda Item Transmittal